

ROOF REPLACEMENT PROJECT

**BOARD OF EDUCATION OFFICES
4 BLONDERS BOULEVARD
LEDYARD, CONNECTICUT 06339
STATE PROJECT NO. 072-0098 BE/RR**

S/P+A PROJECT NO. 22.331

DATE: April 19, 2024

The following changes to the Drawings and Project Specifications shall become a part of the Drawings and Project Specifications; superseding previously issued Drawings and Project Specifications to the extent modified by Addendum #2.

General Information/Clarifications:

- RFI's: As indicated in RFI Log, attached as part of this Addendum. (1 page)
- The Prebid Meeting Sign in Sheet is attached as part of this addendum (1 page)

Changes to the Drawings:

- DRAWING C1, CODE INFORMATION is deleted in its entirety and replaced with DRAWING C1, CODE INFORMATION, Rev Block dated 4/19/24, which is attached to this addendum (1 drawing)
- DRAWING A1, OVERALL ROOF PLAN is deleted in its entirety and replaced with DRAWING A1, OVERALL ROOF PLAN, Rev Block dated 4/19/24, which is attached to this addendum (1 drawing)
- DRAWING A2, ROOF DETAILS is deleted in its entirety and replaced with DRAWING A2, ROOF DETAILS, Rev Block dated 4/19/24, which is attached to this addendum (1 drawing)
- DRAWING A2 ALT, ROOF DETAILS is deleted in its entirety and replaced with DRAWING A2 ALT, ROOF DETAILS, Rev Block dated 4/19/24, which is attached to this addendum (1 drawing)

The bid date remains unchanged by this addendum.

The addendum consists of three (3) pages of 8½" x 11" text and four (4) drawings.
End of Addendum #2



SILVER PETRUCELLI + ASSOCIATES
 3190 Whitney Avenue | Hamden CT 06518
 311 State Street | New London CT 06320

BID RFI LOG

Project: ROOF REPLACEMENT PROJECT
BOARD OF EDUCATION OFFICES
 State Project No. 072-0098 BE/RR

S/P+A Project #: 22.331

RFI Deadline: **5/2/24, 3:00 pm**
 Bids Due: **5/3/24, 3:00 PM**

RFI #	QUESTION	DATE RECEIVED	RESPONSE	ADDENDUM # ISSUED
001	What is start and completion date for project: ROOF REPLACEMENT LEDYARD BOARD OF EDUCATION PROJECT NO.072-0098 BE/RR?	04/10/24	The start date will be after the contract is executed, likely late May/early June. Completion is hoped for ASAP but it is up to the contractor to complete the bid form indicating the contractor's duration for the project to substantial completion.	#2 Issued 4/19/24
002	Would you please verify the DAS Classification for the project? In the Revised Invitation to Bid it states that classifications in Roofing and Solar Electric are required as a minimum. In the Supplementary Instructions to Bidders, Article 9, 9.10 DAS, it states the classification General Construction B is required as a minimum.	04/10/24	In Supplementary Instructions to Bidders, Article 9.10, delete "General Construction B" and insert "Roofing and Solar Electric"	#2 Issued 4/19/24

CODE INFORMATION

DATE OF ORIGINAL CONSTRUCTION

DATE OF ADDITION

1. GROUP CLASSIFICATION (CHAPTER 3)
 (PRIMARY)
 (INCIDENTAL)

2. CONSTRUCTION TYPE (CHAPTER 6)
 MINIMUM TYPE REQUIRED
 ACTUAL TYPE PROVIDED (EXISTING)
 (NEW)

3. BUILDING HEIGHT (CHAPTER 5)
 ALLOWABLE HEIGHT (STORY/FEET)
 ACTUAL HEIGHT (STORY/FEET)
 (STORIES ABOVE GRADE)

4. BUILDING AREA (CHAPTER 5)
 A) BUILDING AREA (FIRST)
 EXISTING CONSTRUCTION sq.ft.
 NEW CONSTRUCTION sq.ft.
 TOTAL FLOOR sq.ft.
 B) BUILDING AREA (SECOND)
 EXISTING CONSTRUCTION sq.ft.
 NEW CONSTRUCTION sq.ft.
 TOTAL FLOOR sq.ft.
 TOTAL (ALL FLOORS) sq.ft.

5. AREA MODIFICATIONS TO TABLE 503 (FOR EACH SEPARATE BUILDING AS DEFINED BY FIRE WALLS AND/OR EXTERIOR WALLS)
 NA

6. CASE 1 - SINGLE OCCUPANCY OR NONSEPARATED USES (302.3.1) (ALLOWABLE AREA 506.4)
 NA

7. CASE 2 - MIXED OCCUPANCY SEPARATED USES (302.3.2) (ALLOWABLE AREA 506.4)
 NA

8. FIRE-RESISTANCE RATED REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601, SEE CODE PLANS FOR SPECIFIC DESIGNATIONS)

1. STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	<input type="text" value="0"/>	Hr(s)
2. BEARING WALLS: EXTERIOR (TABLE 602) INTERIOR	<input type="text" value="0/1"/>	Hr(s)
3. NONBEARING WALLS & PARTITIONS EXTERIOR (TABLE 602) INTERIOR	<input type="text" value="0/1"/>	Hr(s)
4. NONBEARING WALLS & PARTITIONS INTERIOR	<input type="text" value="0"/>	Hr(s)
5. FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	<input type="text" value="0"/>	Hr(s)
6. ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS & JOISTS)	<input type="text" value="0"/>	Hr(s)

9. OCCUPANCY LOAD

DESIGN TOTAL FOR BASEMENT	<input type="text" value="NA"/>
TOTAL EXIT CAPACITY FOR BASEMENT	<input type="text" value="NA"/>
DESIGN TOTAL FOR FIRST FLOOR	<input type="text" value="NA"/>
TOTAL EXIT CAPACITY FOR FIRST FLOOR	<input type="text" value="NA"/>
DESIGN TOTAL FOR BUILDING	<input type="text" value="NA"/>
TOTAL EXIT CAPACITY FOR BUILDING	<input type="text" value="NA"/>

10. MODIFICATIONS

<input type="text"/>	APPROVED	NOT APPROVED
<input type="text"/>	APPROVED	NOT APPROVED
<input type="text"/>	APPROVED	NOT APPROVED

11. ACCESSIBLE BUILDING DESIGNATED
 NON DESIGNATED

12. MINIMUM PLUMBING FIXTURE COUNT (I.P.C. CHAPTER 4) FOR EACH TYPE OF OCCUPANCY PER ENTIRE FACILITY

GROUP "A3" OCCUPANCY (DESIGN LOAD = NA)

	REQUIRED	PROVIDED
W/C MALE	NA	NA
W/C FEMALE	NA	NA
LAVS	NA	NA
D/F	NA	NA
W/C UNISEX	NA	NA
LAVS UNISEX	NA	NA

GROUP "E" OCCUPANCY (DESIGN LOAD = NA)

	REQUIRED	PROVIDED
W/C	NA	NA
LAVS	NA	NA
D/F	NA	NA

(TOTAL DESIGN LOAD FOR ENTIRE FACILITY = NA)

13. ENTIRE BUILDINGS SPRINKLERED

14. THRESHOLD BUILDING CONDITIONS

15. CODES TO WHICH THIS PROJECT WAS DESIGNED

State Building Code	<input type="text" value="2021 IBC CTSBC/2022 AMEND."/>
State Mechanical Code	<input type="text" value="2021 IMC / 2022 CT"/>
State Plumbing Code	<input type="text" value="2021 IPC / 2022 CT"/>
State Energy Conservation Code	<input type="text" value="2021 IECC / 2022 CT"/>
State Electrical Code	<input type="text" value="2020 NFPA 70 / 2022 CT"/>
State Health Code	<input type="text" value="MOST CURRENT"/>
OSHA	<input type="text" value="MOST CURRENT"/>
Section 504	<input type="text" value="CURRENT"/>
ADA	<input type="text" value="MOST CURRENT"/>
ANSI 117.1	<input type="text" value="MOST CURRENT"/>

16. BUILDING AREAS FOR GRANT CALCULATION (ENTIRE FACILITY) (MEASURED TO INSIDE FACE OF EXTERIOR WALLS)

EXISTING UNRENOVATED CONSTRUCTION	<input type="text" value="0"/>	SQ.FT.
EXISTING RENOVATED CONSTRUCTION	<input type="text" value="0"/>	SQ.FT.
EXISTING BEING DEMOLISHED	<input type="text" value="0"/>	SQ.FT.
TOTAL EXISTING CONSTRUCTION	<input type="text" value="15,594"/>	SQ.FT.
TOTAL NEW CONSTRUCTION	<input type="text" value="0"/>	SQ.FT.
TOTAL FACILITY	<input type="text" value="15,594"/>	SQ.FT.

OPEN AREAS (NOT INCLUDED IN TOTAL FACILITY)

NA SQ.FT.

17. TOTAL CONSTRUCTED BUILDING AREA (OUTSIDE FACE OF EXTERIOR WALLS INCLUDING OPEN AREAS ABOVE) SQ.FT.

FIRE SAFETY CODE DATA:

1. CLASSIFICATION OF OCCUPANCY

2. MINIMUM CONSTRUCTION REQUIRED

ACTUAL CONSTRUCTION PROVIDED

3. NOTIFICATION / ALARMS (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002) YES NO

4. DETECTION (CFSC 2005, NFPA 72, NATIONAL FIRE ALARM CODE 2002) YES NO

5. EXTINGUISHMENT REQUIREMENTS (NFPA 13, 2002) YES NO

MEANS OF EGRESS

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT IBC TABLE 1004.1.2

USE	FLOOR AREA IN S.F. PER OCCUPANT
1. CLASSROOMS	<input type="text" value="20 S.F. NET"/>
2. SHOPS & VOCATIONAL	<input type="text" value="50 S.F. NET"/>
3. ASSEMBLY	<input type="text" value="7 S.F. NET"/>
WITHOUT FIXED SEATS	<input type="text" value="15 S.F. NET"/>
TABLES AND CHAIRS	<input type="text" value="15 S.F. NET"/>
4. PLATFORMS	<input type="text" value="15 S.F. NET"/>
5. LIBRARY	<input type="text" value="50 S.F. NET"/>
READING ROOMS	<input type="text" value="100 S.F. GROSS"/>
STACK AREA	<input type="text" value="50 S.F. GROSS"/>
6. LOCKER ROOMS	<input type="text" value="300 S.F. GROSS"/>
7. MECHANICAL AREAS	<input type="text" value="300 S.F. GROSS"/>
8. STORAGE	<input type="text" value="100 S.F. GROSS"/>
9. BUSINESS AREAS	<input type="text" value="15 S.F. NET"/>
10. Courtyards	<input type="text" value="250 feet"/>

SYMBOL LEGEND

- PLAN SECTION DETAIL OR ELEVATION- SHEET NUMBER
- DIRECTION OF TAPERED INSUL SLOPE &/OR SLOPED STRUCTURAL DECK.
- TAPERED INSULATION CRICKET SLOPED @ 1/2" PER FOOT
- INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH.
- NOT IN CONTRACT SCOPE
- WALKWAY PADS. SEE CONSTRUCTION NOTE #2
- EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
- NEW ROOF DRAIN TO BE INSTALLED. SEE DETAIL A/A2
- EXISTING VENT STACK. SEE DETAIL B/A2
- EXISTING ROOF TOP FAN UNIT. SEE DETAIL C/A2
- EXISTING ROOF TOP MECHANICAL UNIT. SEE DETAIL E/A2
- ROOF HATCH. SEE DETAIL F & G/A2
- EXISTING HOT FLUE. SEE DETAIL D/A2
- PITCH POCKET. SEE DETAIL H/A2

DEMOLITION NOTES

- REMOVE ALL EXISTING ROOFING SYSTEM, INSULATION DOWN TO EXISTING DECK.
- REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
- REMOVE EXISTING ROOF DRAINS & SUMP.

GENERAL NOTES

- ALL FLAT ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
- FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
- ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
- ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)
- ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
- ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL)
- CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
- CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
- SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEEDED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
- CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
- SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
- ALL CRICKETS ARE TO BE SLOPED @ A MINIMUM OF 1/2" PER FOOT & COORDINATE CRICKETS AROUND EXIST. HVAC UNITS AS REQUIRED TO AVOID PONDING.
- CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL & RE-INSTALLATION OF ALL HVAC UNITS INCLUDING ANY ELECTRICAL OR MECHANICAL CONNECTIONS. THIS MAY INCLUDE THE EXTENSION OF EXISTING ELECTRICAL & DUCTWORK SYSTEMS TO ACCOMMODATE NEW MECHANICAL UNIT CURBING & NEW ROOFING SYSTEM.
- SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
- ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
- NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
- ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

CONSTRUCTION NOTES

- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
- WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COORDINATE & FINALIZE EXACT ROUTE WITH OWNER & ARCHITECT.
- METAL SNOW RAIL TO BE INSTALLED 3'-0" FROM THE ROOFS EDGE. SEE DETAILS N & Q/A2 & PROJECT MANUAL.

ROOF AREAS

ROOF "A"	4410	SF.
ROOF "B"	5218	SF.
TOTAL ROOF AREAS:	9,628	SF.

THIS AREA IS APPROXIMATE. V.I.F.
 IECC CODE REQUIREMENT R-VALUE MIN. R-30
 CONNECTICUT ZONE 2B
 CBSC REQUIREMENT : R-30 -J.U.0333

ROOF ASSEMBLY

OUTSIDE AIR	0.17
ROOF MEMBRANE	0.33
COVERBOARD	2.20
1" POLYSTY INSUL.	29.7
EXISTING DECK	1.23
INSIDE AIR	0.61
R-VALUE TOTAL	34.24

CODE INFORMATION

USE GROUP : B
 CONSTRUCTION CLASS: 2B
 RISK CATEGORY #3
 ULTIMATE DESIGN WIND SPEED: 145 MPH
 NOMINAL DESIGN WIND SPEED: 112 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FMR) ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION. WIND UPLIFT REQUIREMENT OF I-60 FOR FIELD, I-75 FOR PERIMETER AND I-110 FOR CORNERS. IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.

SYMBOL LEGEND	
	PLAN SECTION DETAIL OR ELEVATION-SHEET NUMBER
	DIRECTION OF TAPERED INSUL SLOPE &/OR SLOPED STRUCTURAL DECK
	TAPERED INSULATION CRICKET SLOPED @ 1/2" PER FOOT
	INDICATES SLOPE DIRECTION & INDICATES EXISTING ROOF PITCH
	NOT IN CONTRACT SCOPE
	WALKWAY PADS. SEE CONSTRUCTION NOTE #2
	EXISTING ROOF DRAIN TO BE REMOVED. SEE DEMOLITION NOTES.
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	ROOF HATCH. SEE DETAIL F & G/A2
	EXISTING HOT FLUE. SEE DETAIL D/A2
	PITCH POCKET. SEE DETAIL H/A2

- GENERAL NOTES**
- ALL FLAT ROOFS TO RECEIVE 1/2" PER FOOT TAPERED RIGID INSULATION MINIMUM UNLESS OTHERWISE NOTED.
 - FIELD VERIFY ALL DIMENSIONS & PERFORM TEST CUTS AT EACH ROOF PRIOR TO THE BID.
 - ALL MATERIALS ARE NEW UNLESS OTHERWISE NOTED "EXISTING".
 - ALL WOOD BLOCKING, PLYWOOD & NAILERS TO BE PRESSURE TREATED. (P.T.)
 - ALL WOOD BLOCKING INDICATED IN DETAILS ARE TO BE ANCHORED TO THE EXISTING STRUCTURE.
 - ALL MEMBRANE FLASHING INDICATED IS TO EXTEND A MINIMUM OF 8" (VERTICAL OR HORIZONTAL)
 - CONTRACTOR IS TO SURVEY THE EXISTING ROOF DECKS W/ A LEVEL (AFTER DEMOLITION) TO VERIFY THE SLOPES INDICATED ON PLAN ARE ACCURATE. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY ADDITIONAL ROOFING OPERATIONS.
 - CONTRACTOR IS TO INSPECT THE UNDERSIDE OF ALL ROOF DECKS PRIOR TO ROOFING OPERATIONS TO ENSURE THAT NO INTERIOR MATERIALS, EQUIPMENT, FINISHES OR OBJECTS WILL BE PIERCED OR DAMAGED.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY DURING PROJECT & WILL REPLACE ANY & ALL DAMAGED EQUIPMENT W/NO ADDITIONAL COST TO OWNER.
 - SITE AREAS DISTURBED SHALL BE CLEANED & RE-LEVELLED. W/LAWN AREAS MAGNETICALLY RAKED TO REMOVE ANY METAL DEBRIS & RE-SEED AS REQUIRED TO MATCH ADJACENT CONDITIONS.
 - CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR CLEAN UP OF ROOFING MATERIALS & DEBRIS THAT PENETRATES THE INTERIOR ENVELOPE OF THE BUILDING W/NO ADDITIONAL COST TO THE OWNER.
 - SNAKE/CLEAN OUT ALL EXISTING VERTICAL & HORIZONTAL LEADERS OUT TO NEAREST MANHOLE OUTSIDE OF BUILDING.
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 - SNAKE/CLEAN OUT ALL EXISTING VENT STACKS BEFORE THE INSTALLATION OF METAL SLEEVE.
 - ALL DRAIN PIPING IS INSULATED ABOVE THE CEILINGS. THE EXACT ROUTE WILL BE DETERMINED IN THE FIELD. MAKE MINOR ADJUSTMENT IN THE ROUTE AT NO ADDITIONAL COST TO OWNER.
 - NEW ROOF INSULATION TO BE A MINIMUM OF R-30 AT ALL NEW ROOF DRAINS AND/OR THE LOW POINTS OF THE ROOF AREAS.
 - ALL ANTENNAE, CONDUITS & ANY OTHER OBJECTS TO REMAIN AFFECTED BY SCOPE OF WORK, TO BE REMOVED & REINSTALLED.

- DEMOLITION NOTES**
- REMOVE ALL EXISTING ROOFING SYSTEM, INSULATION DOWN TO EXISTING DECK.
 - REMOVE ALL PERIMETER METAL FLASHING WITHIN SCOPE OF WORK.
 - REMOVE EXISTING ROOF DRAINS & SUMP.

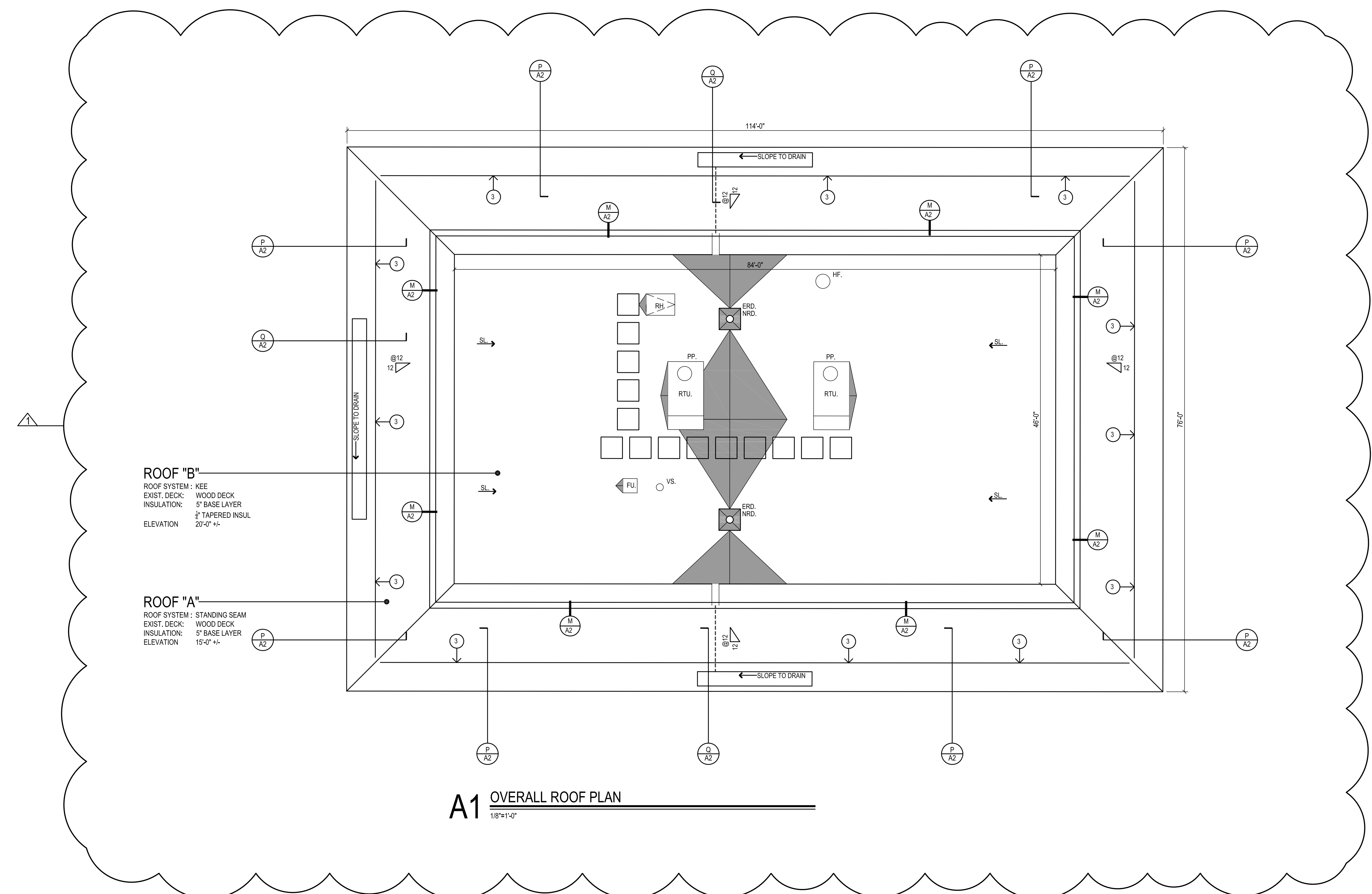
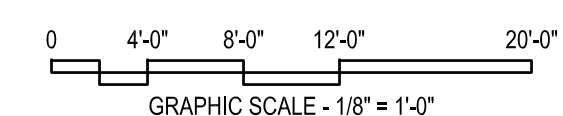
- CONSTRUCTION NOTES**
- CONTRACTOR TO PROVIDE A SPECIFIED QUANTITY OF EXISTING DECK REPAIR & REPLACEMENT. SEE PROJECT MANUAL.
 - WALKWAY PADS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATION. SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION. COORDINATE & FINALIZE EXACT ROOFING W/ OWNER & ARCHITECT.
 - METAL SNOW RAIL TO BE INSTALLED 3'-0" FROM THE ROOF'S EDGE. SEE DETAILS N & O/A2 & PROJECT MANUAL.

ROOF AREAS		ROOF ASSEMBLY	
ROOF "A"	4,410 SF.	OUTSIDE AIR	0.17
ROOF "B"	5,218 SF.	ROOF MEMBRANE	0.33
TOTAL ROOF AREAS: 9,628 SF.		COVERBOARD	2.20
THIS AREA IS APPROXIMATE +/-.		5" POLYISO INSUL.	29.7
IECC CODE REQUIREMENT R-VALUE MIN. R-30		EXISTING DECK	1.23
CONNECTICUT ZONE 2B		INSIDE AIR	0.51
CSIS: REQUIREMENT: R-30 - U-0333		R-VALUE TOTAL	34.24

CODE INFORMATION

USE GROUP: B
CONSTRUCTION CLASS: 2B
RISK CATEGORY #3
ULTIMATE DESIGN WIND SPEED: 145 MPH
NOMINAL DESIGN WIND SPEED: 112 MPH

FACTORY MUTUAL ENGINEERING & RESEARCH CORPORATION (FM), ROOF ASSEMBLY CLASSIFICATION OF NON-COMBUSTIBLE CONSTRUCTION, WIND UPLIFT REQUIREMENT OF 140 FOR FIELD, 175 FOR PERIMETER AND 1-110 FOR CORNERS, IN ACCORDANCE WITH FM PROPERTY LOSS PREVENTION DATA SHEETS 1-28.



ROOF "B"
ROOF SYSTEM: MEE
EXIST. DECK: WOOD DECK
INSULATION: 5" BASE LAYER
1/2" TAPERED INSUL
ELEVATION: 25'-0" +/-

ROOF "A"
ROOF SYSTEM: STANDING SEAM
EXIST. DECK: WOOD DECK
INSULATION: 5" BASE LAYER
ELEVATION: 15'-0" +/-

A1 OVERALL ROOF PLAN
1/8"=1'-0"

Project Title:
**ROOF REPLACEMENT AT:
LEDYARD BOARD OF EDUCATION**
4 BLONDERS BOULEVARD
LEDYARD, CONNECTICUT 06339

SILVER PETRUCELLI + ASSOCIATES
3190 WHITNEY AVENUE HAMDEN CT 06518
311 STATE STREET NEW LONDON CT 06320
203 230 9007 silverpetrucci.com

Revision #	Description	Date	Revised By
#1	ADDENDUM #2	04-19-2024	K.LINSLEY

Project Title:
OVERALL ROOF PLAN
STATE PROJECT 072-0098 BE/RR

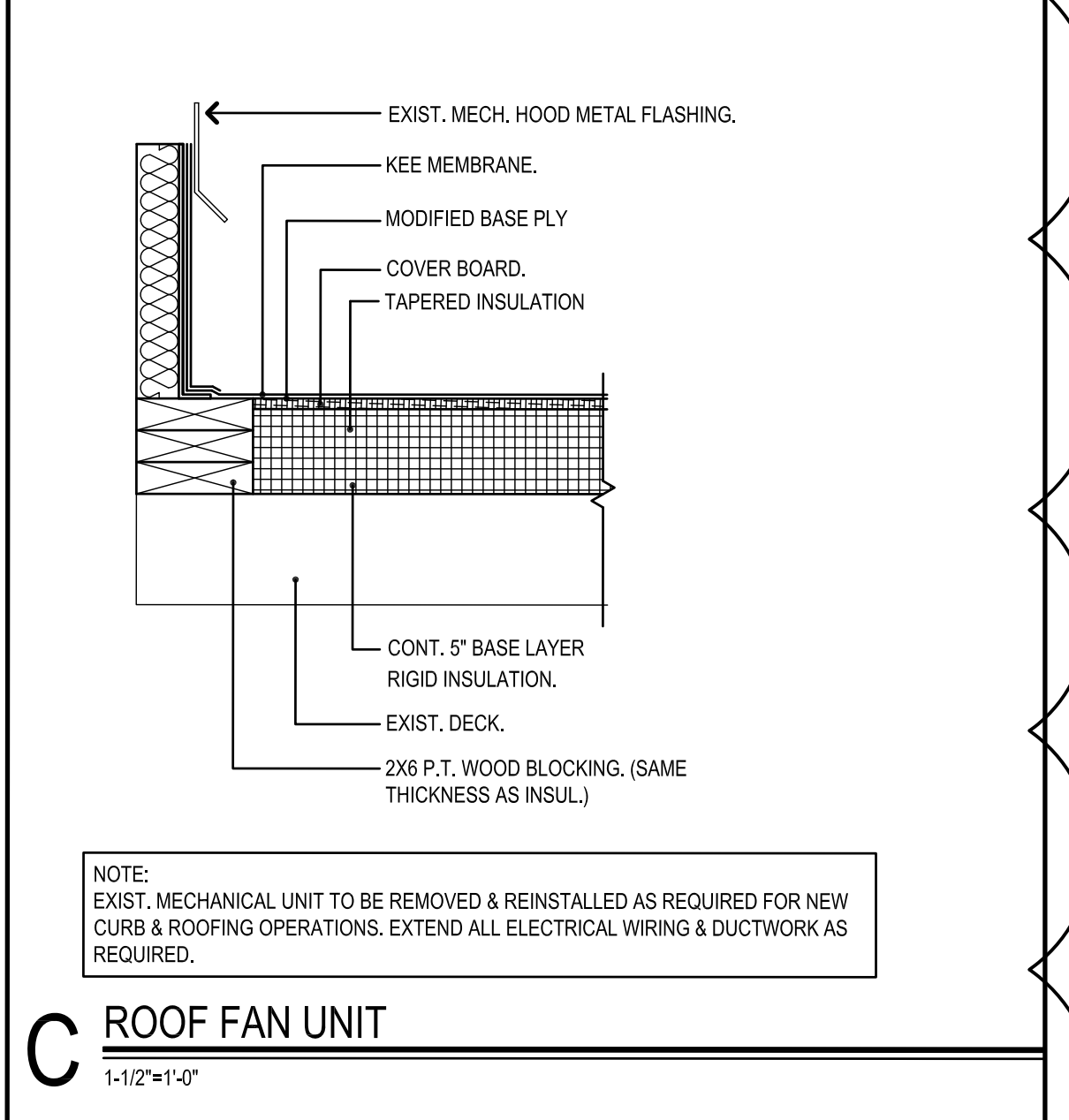
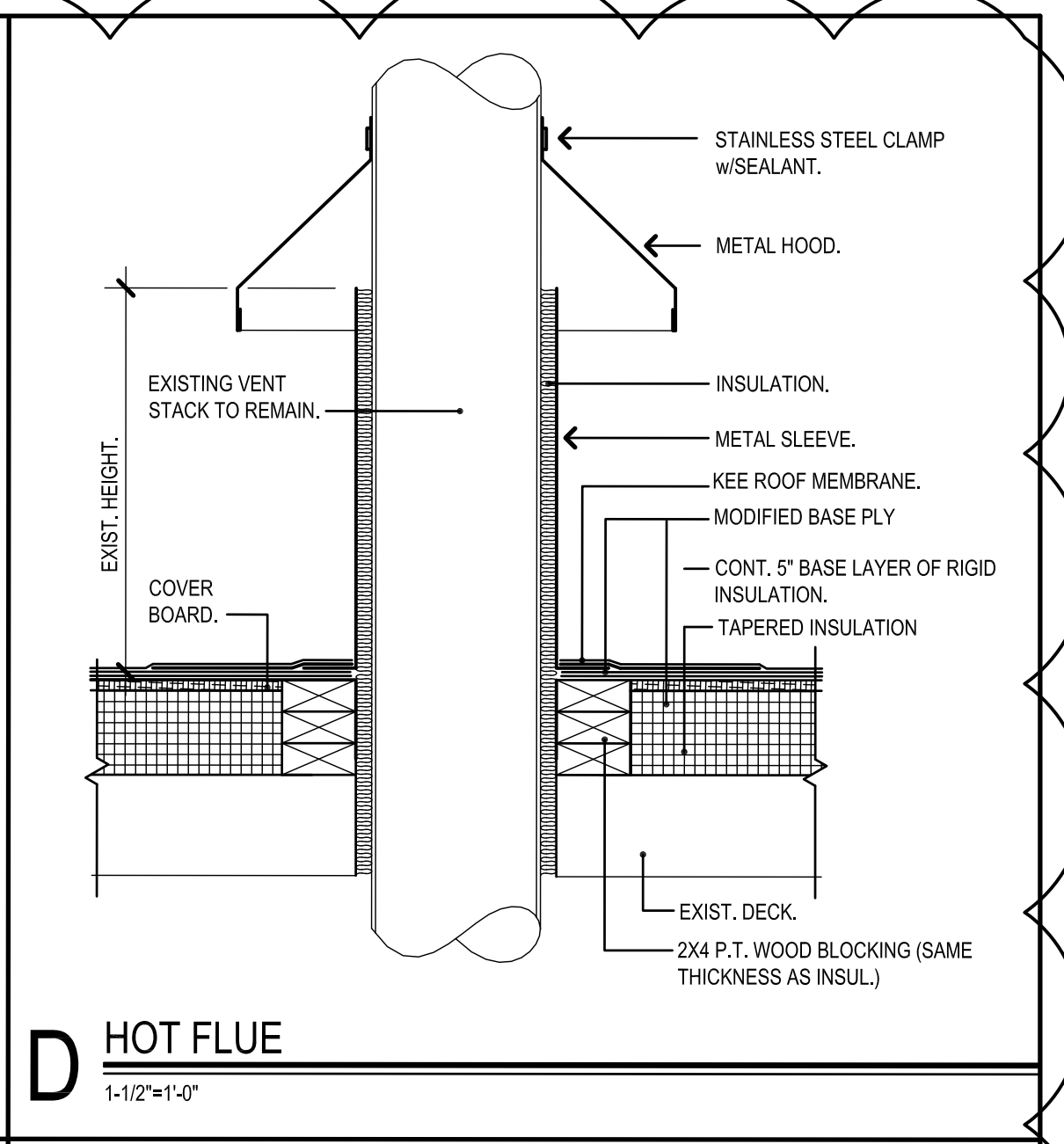
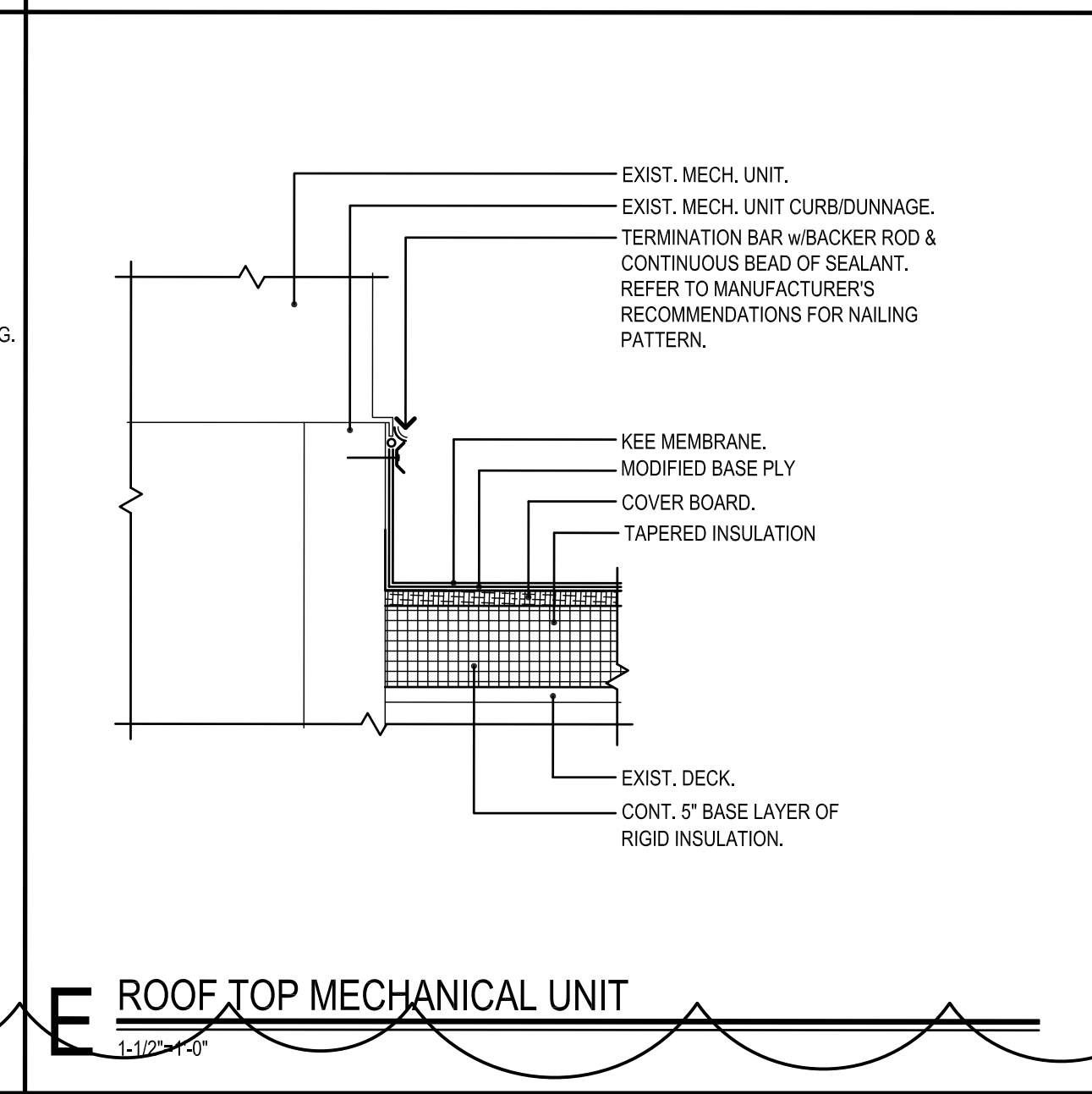
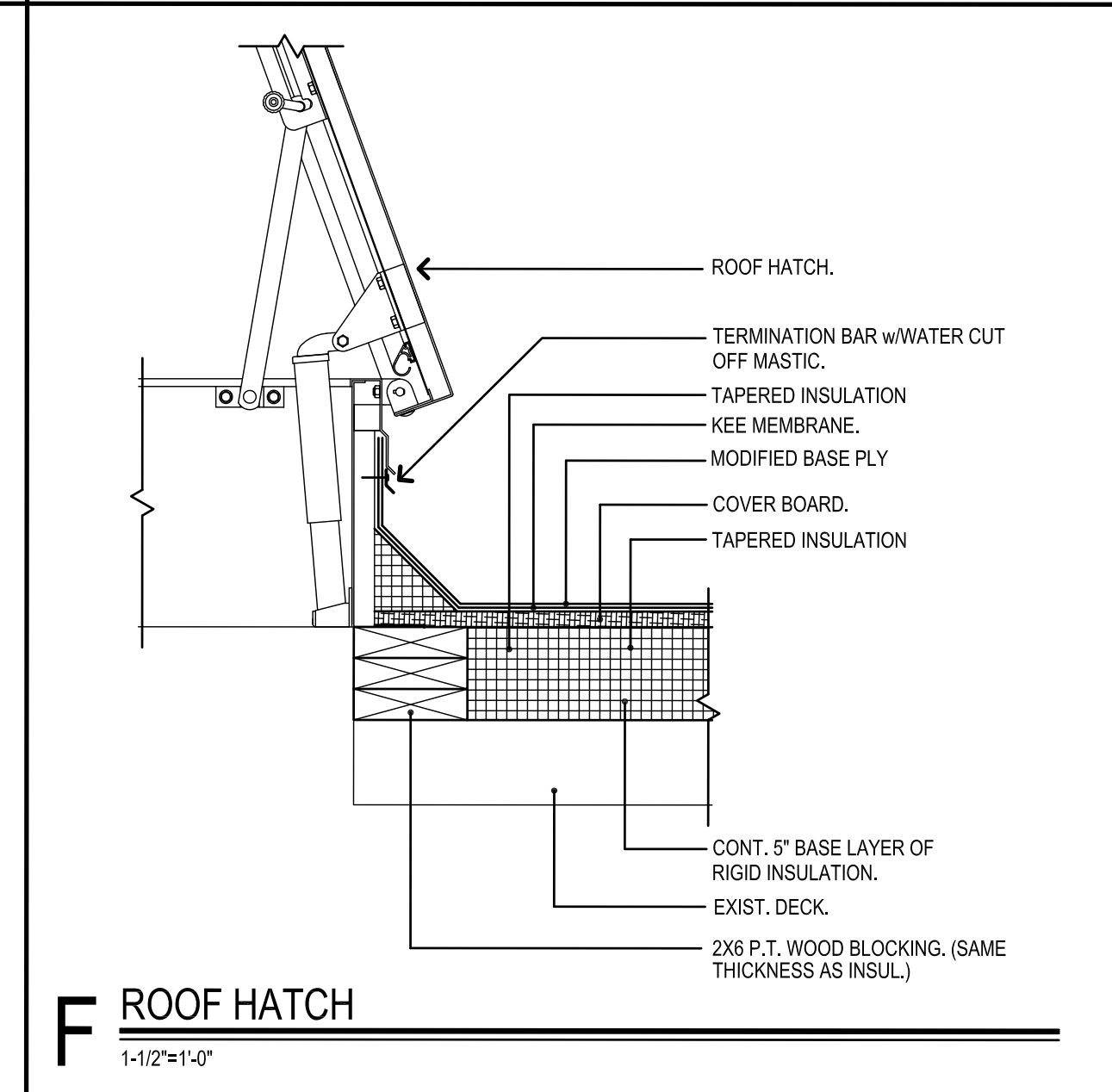
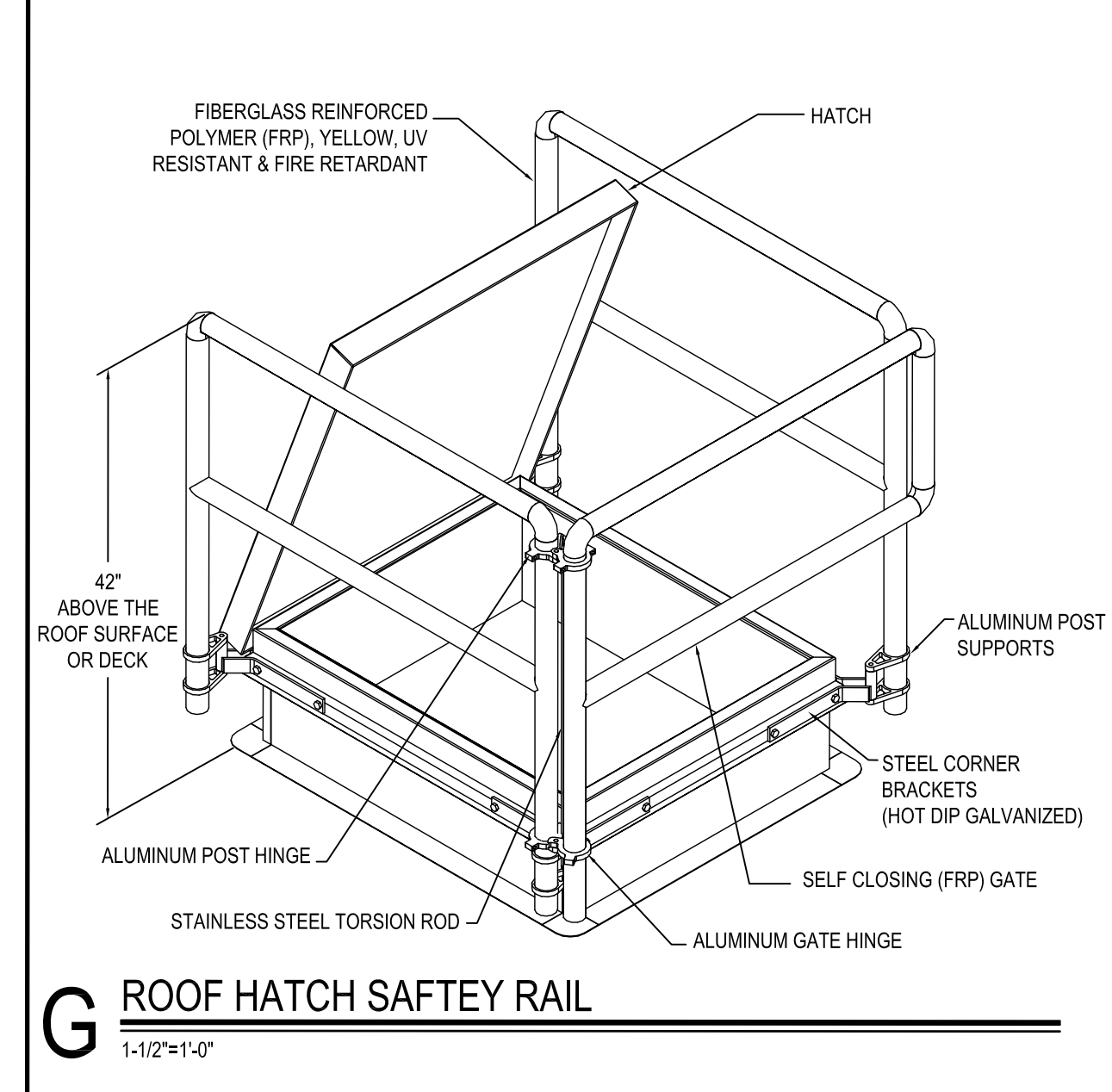
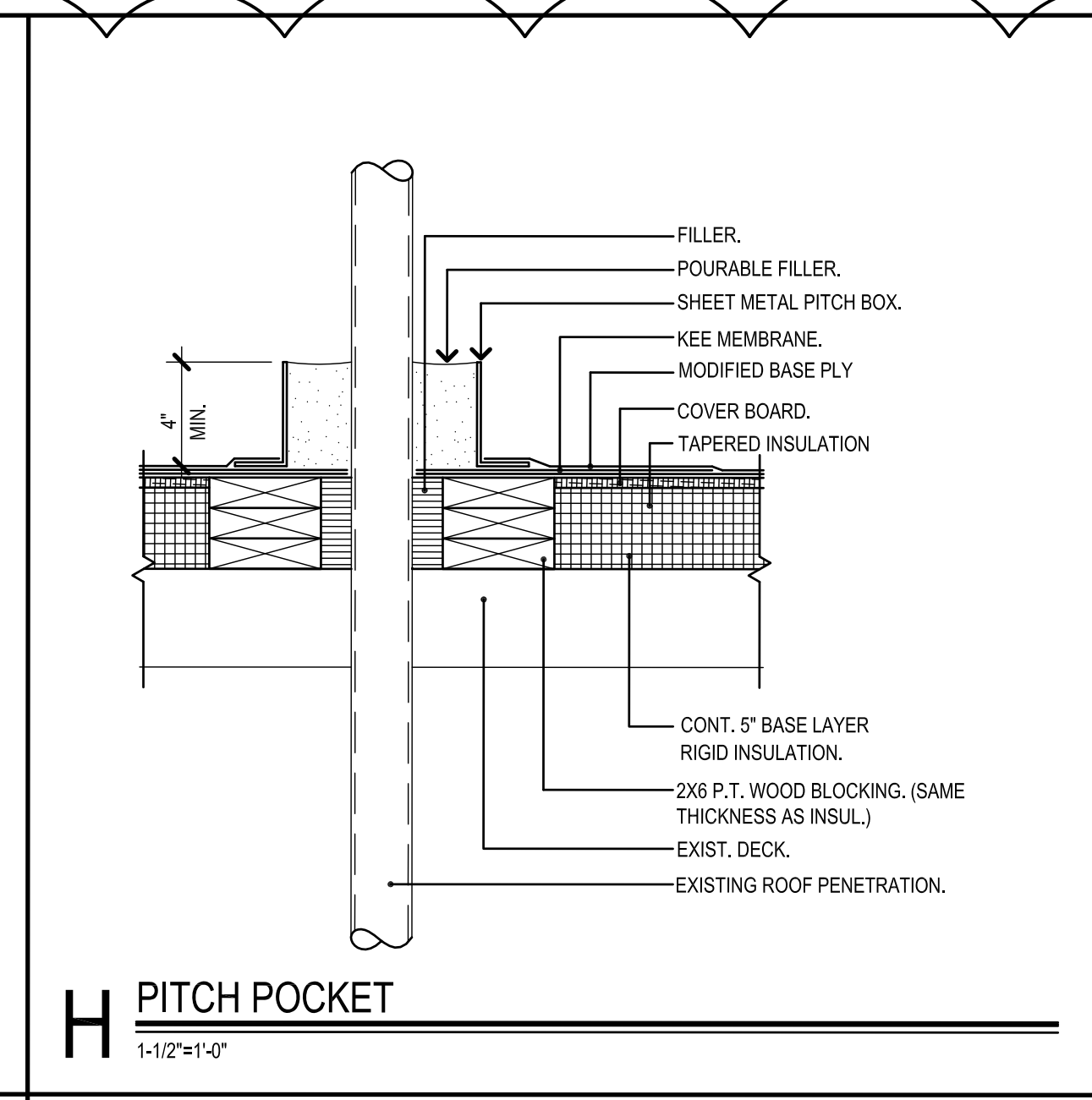
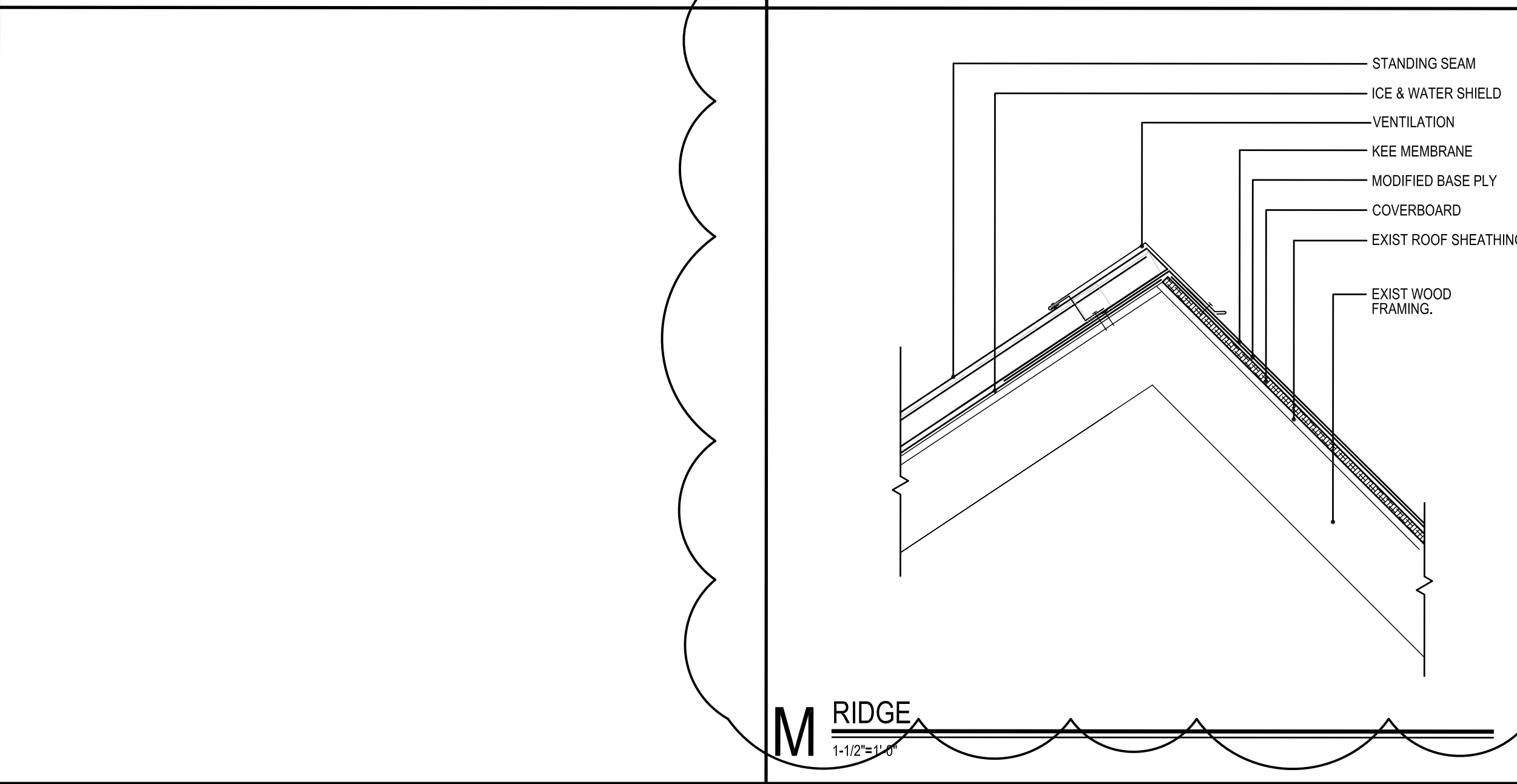
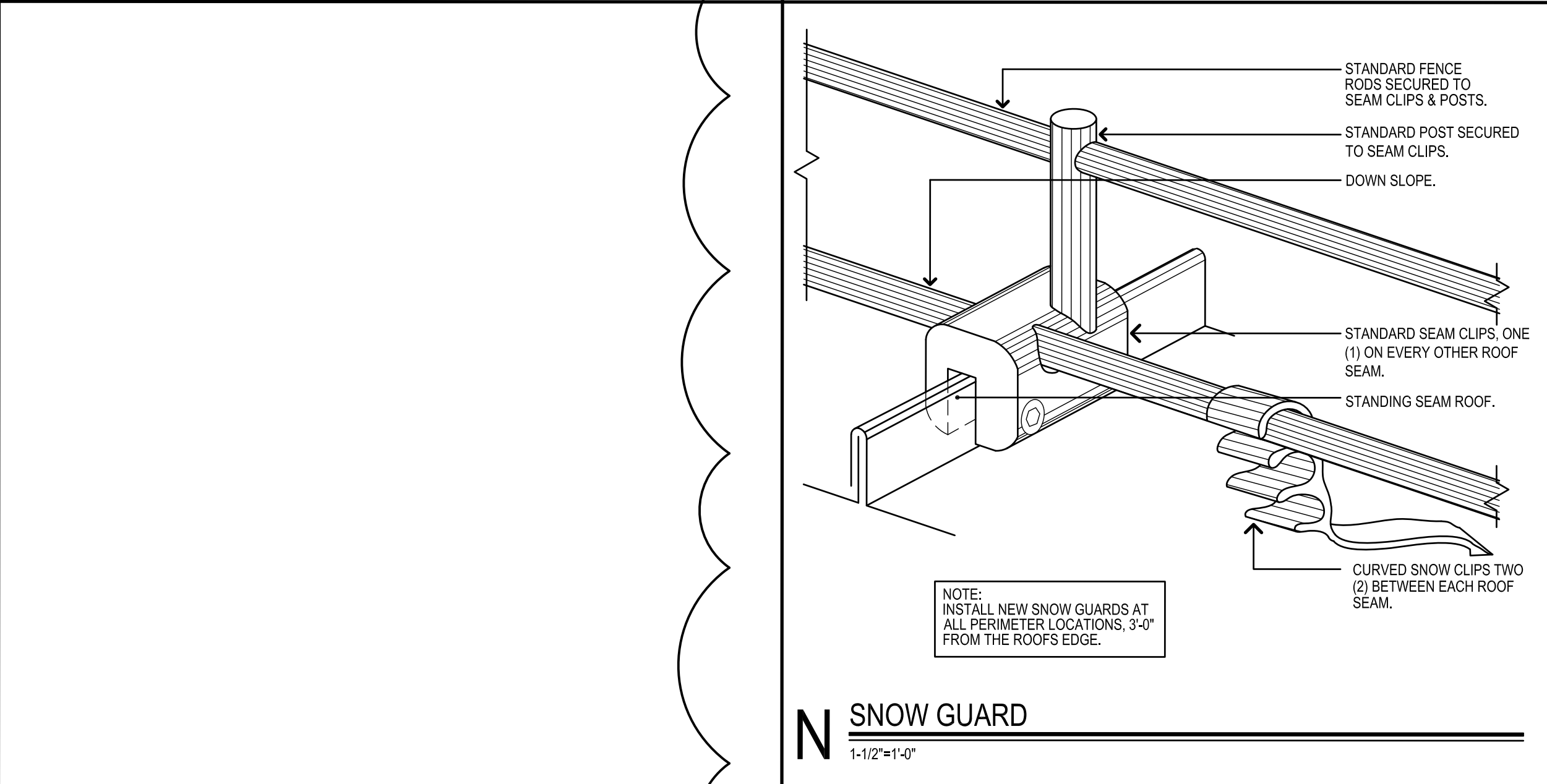
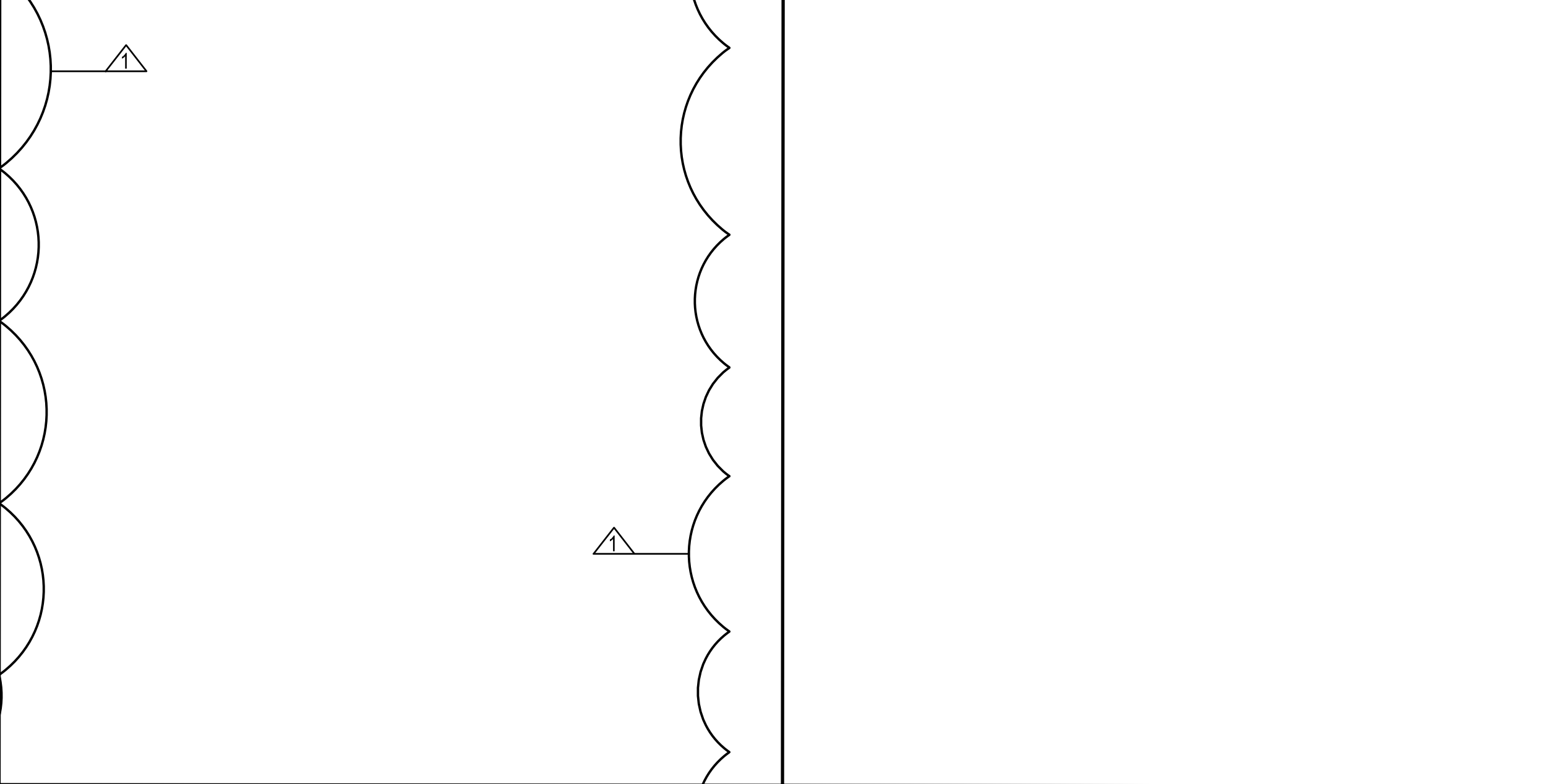
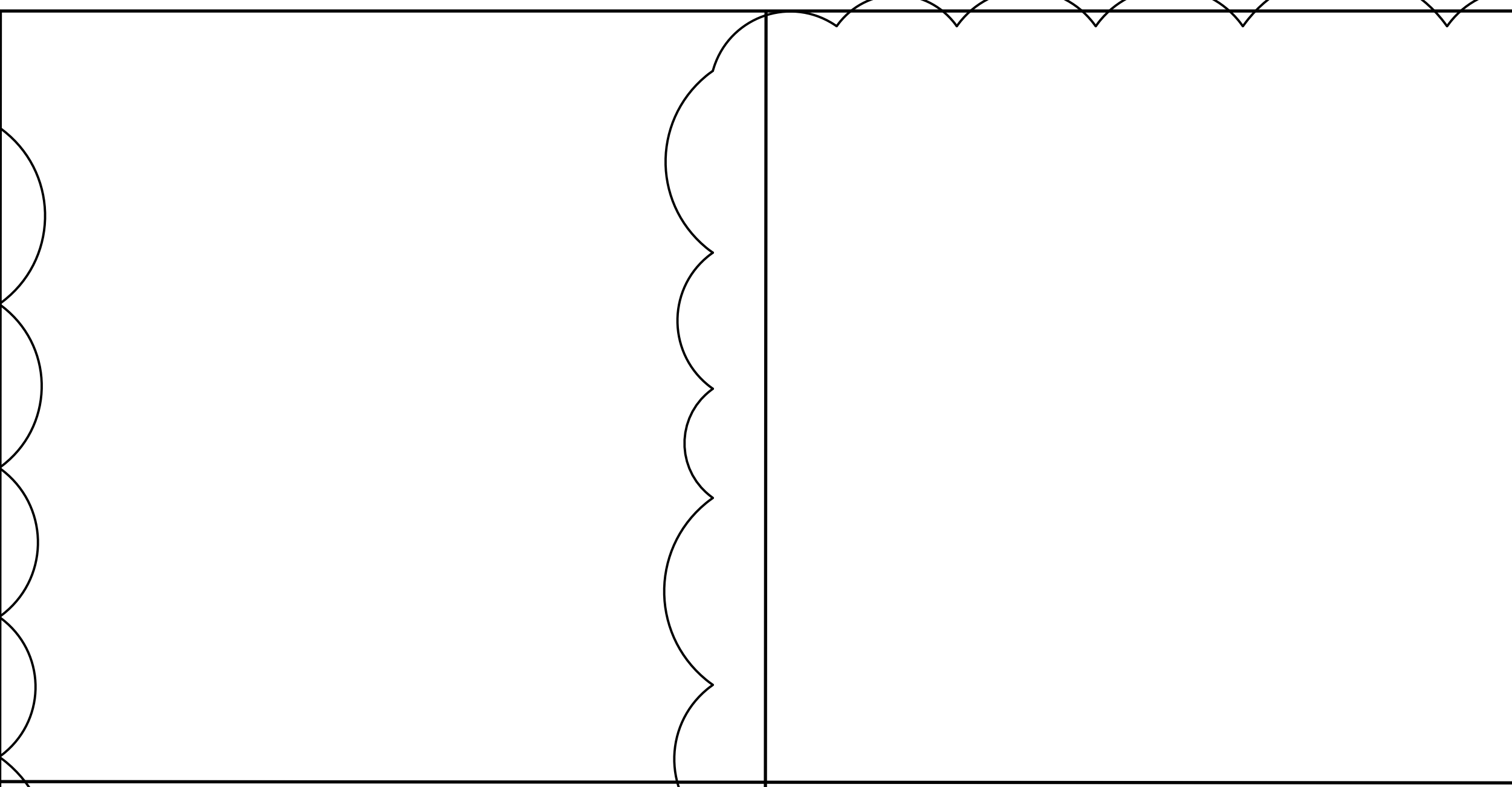
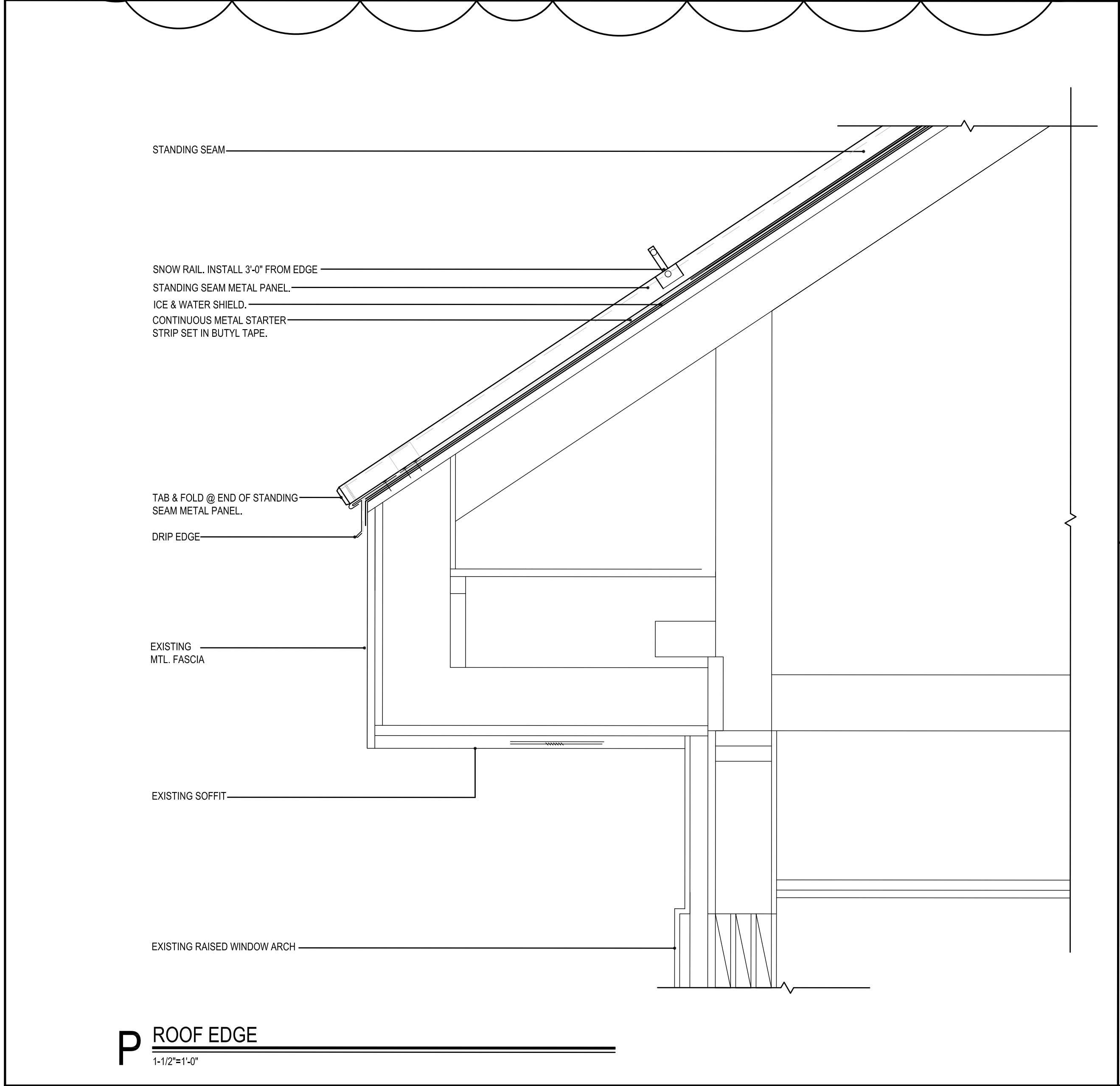
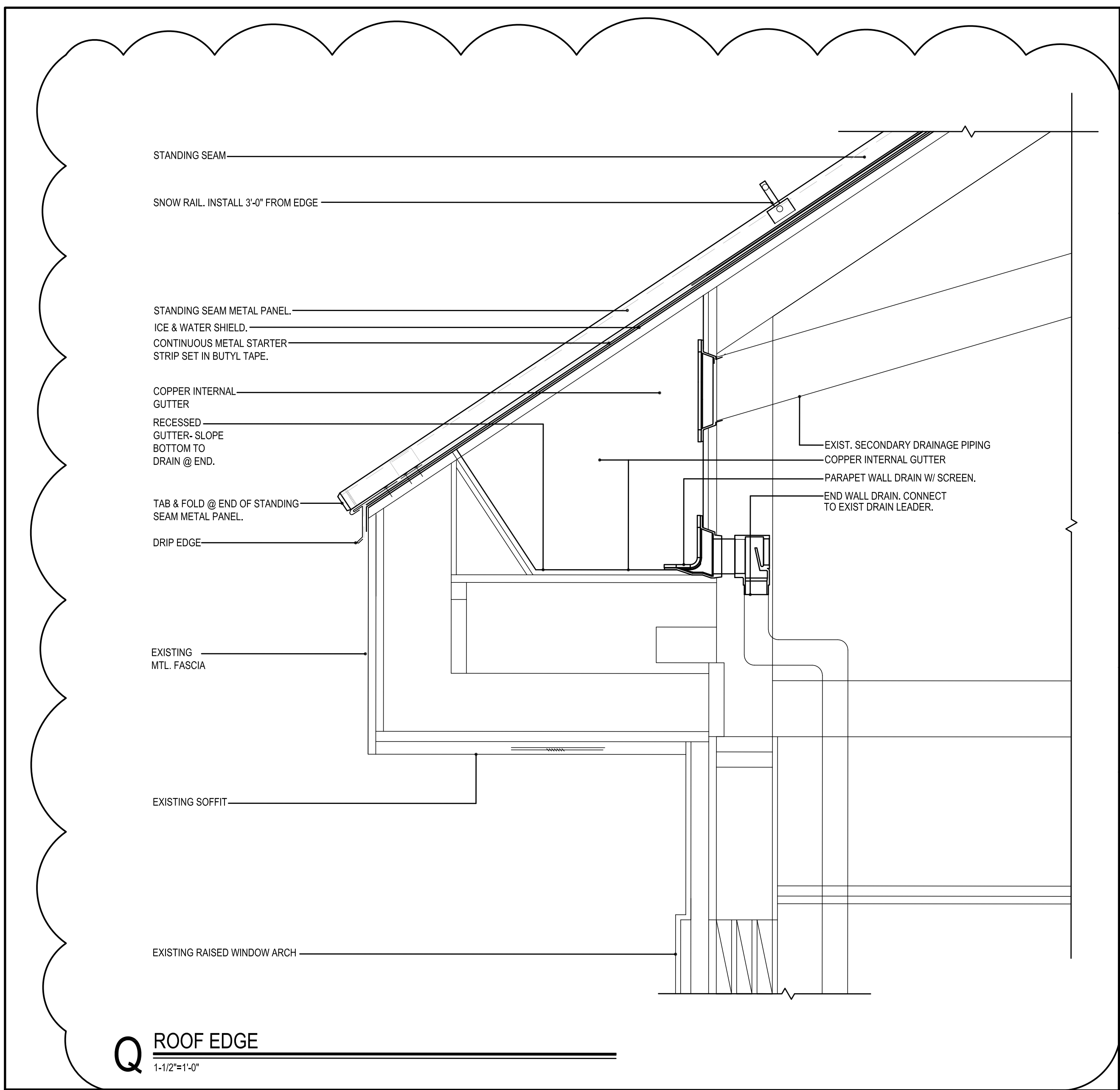
Date:
02/02/2024

Drawing Number:
A1

Scale:
1/8"=1'-0"

Drawn By:
MAG

Project Number:
22.331



Project Title:
**ROOF REPLACEMENT AT:
LEDYARD BOARD OF EDUCATION**
4 BLONDERS BOULEVARD
LEDYARD, CONNECTICUT 06339



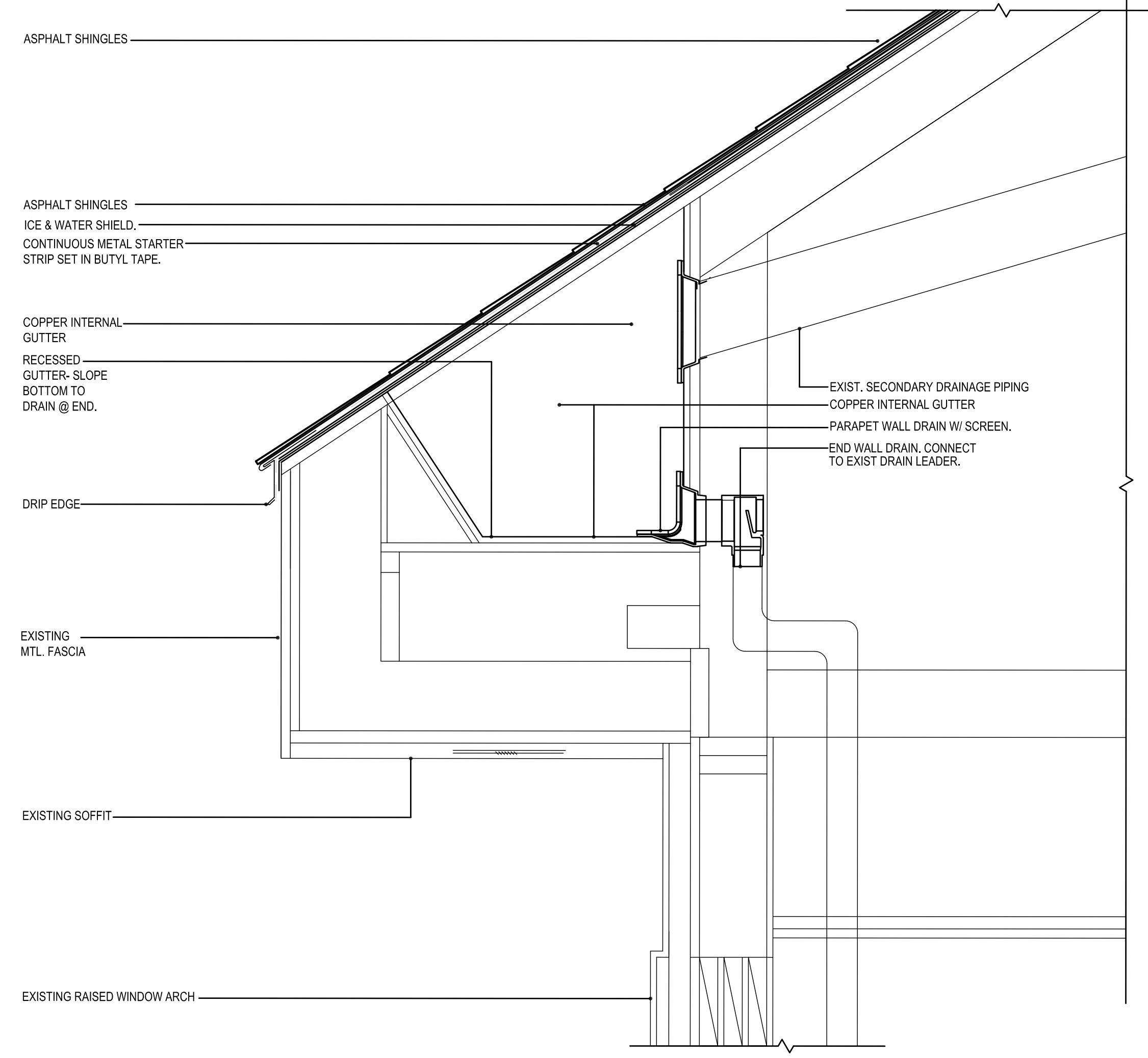
SILVER PETRUCELLI + ASSOCIATES
3190 WHITNEY AVENUE HAMDEN CT 06518
311 STATE STREET NEW LONDON CT 06320
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Revision	Description	Date	Revised By
#1	ADDENDUM #2	04-19-2024	K.LINSLEY

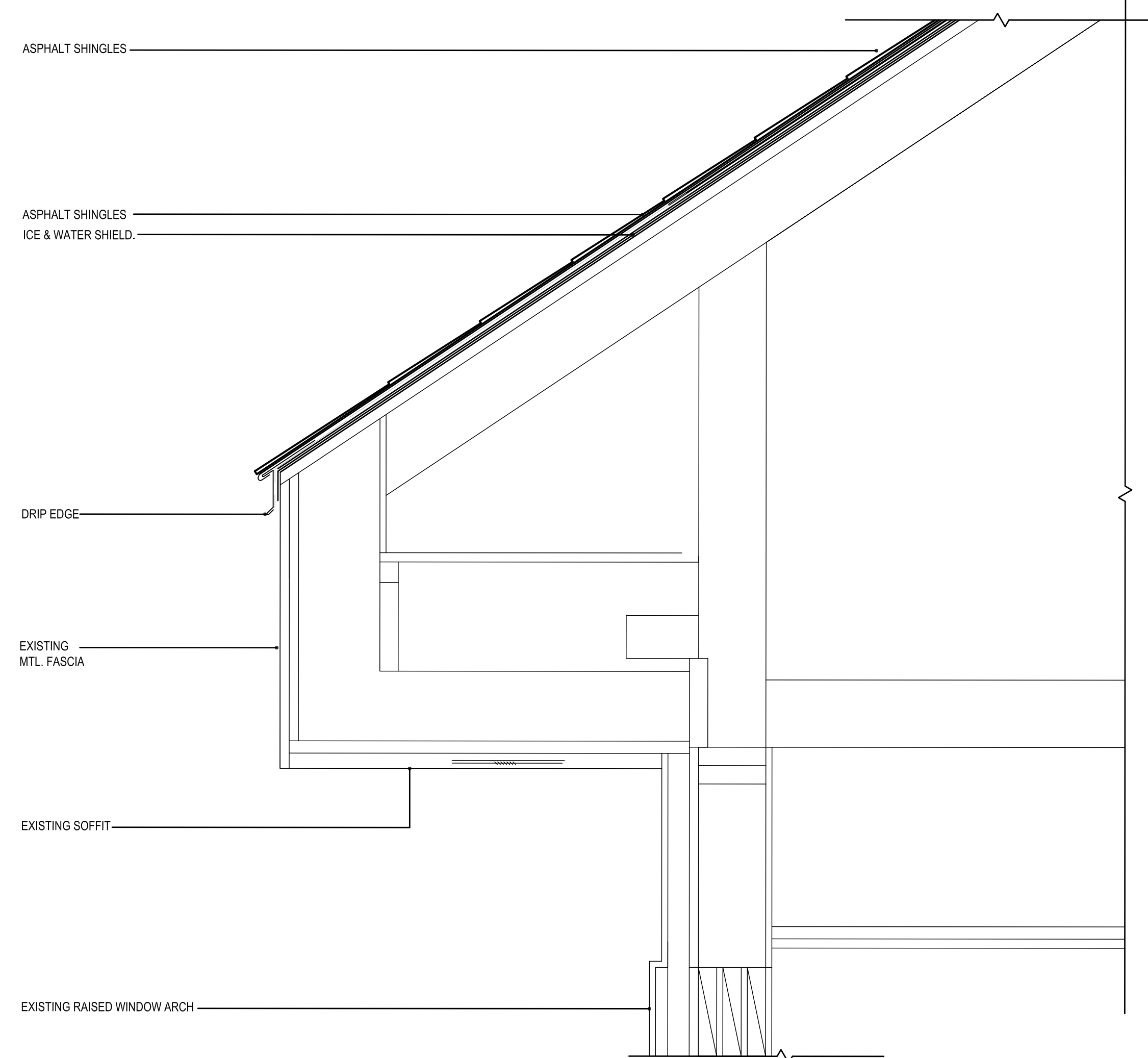
Drawing Title:
ROOF DETAILS
STATE PROJECT 072-0098 BE/RR

Date:
02/02/2024
Scale:
1-1/2"x1'-0"
Drawn By:
MAG
Project Number:
22.331

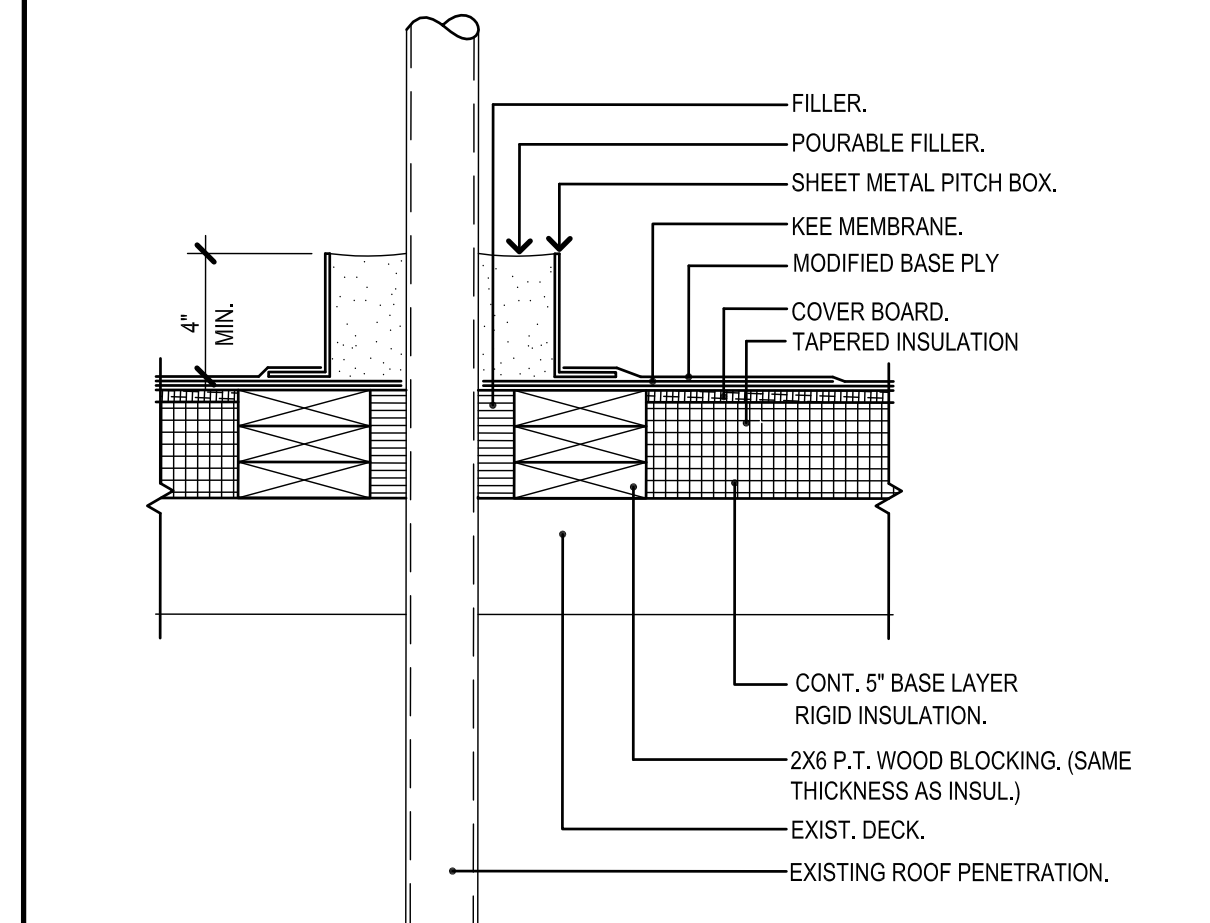
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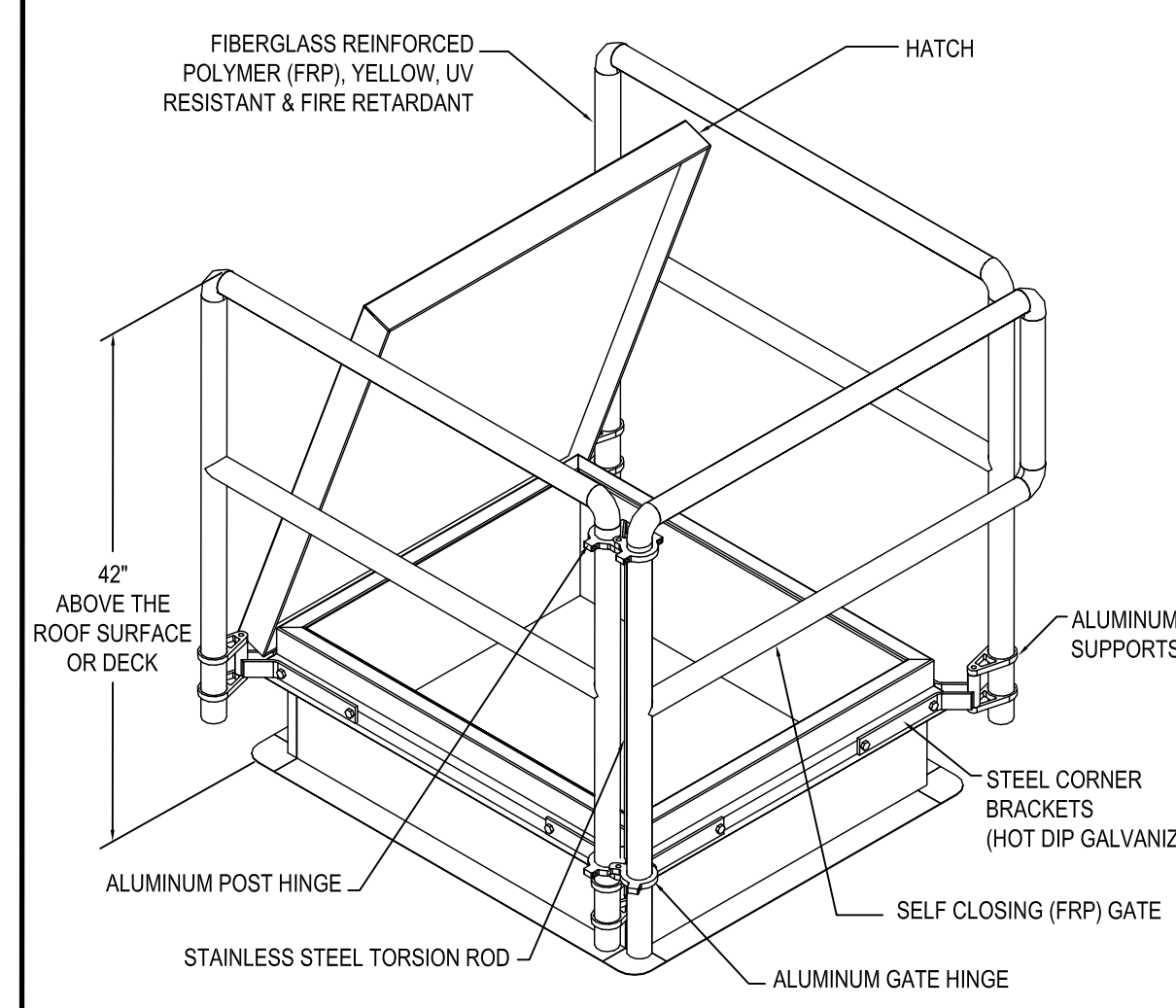
Q ROOF EDGE
1-1/2"=1'-0"



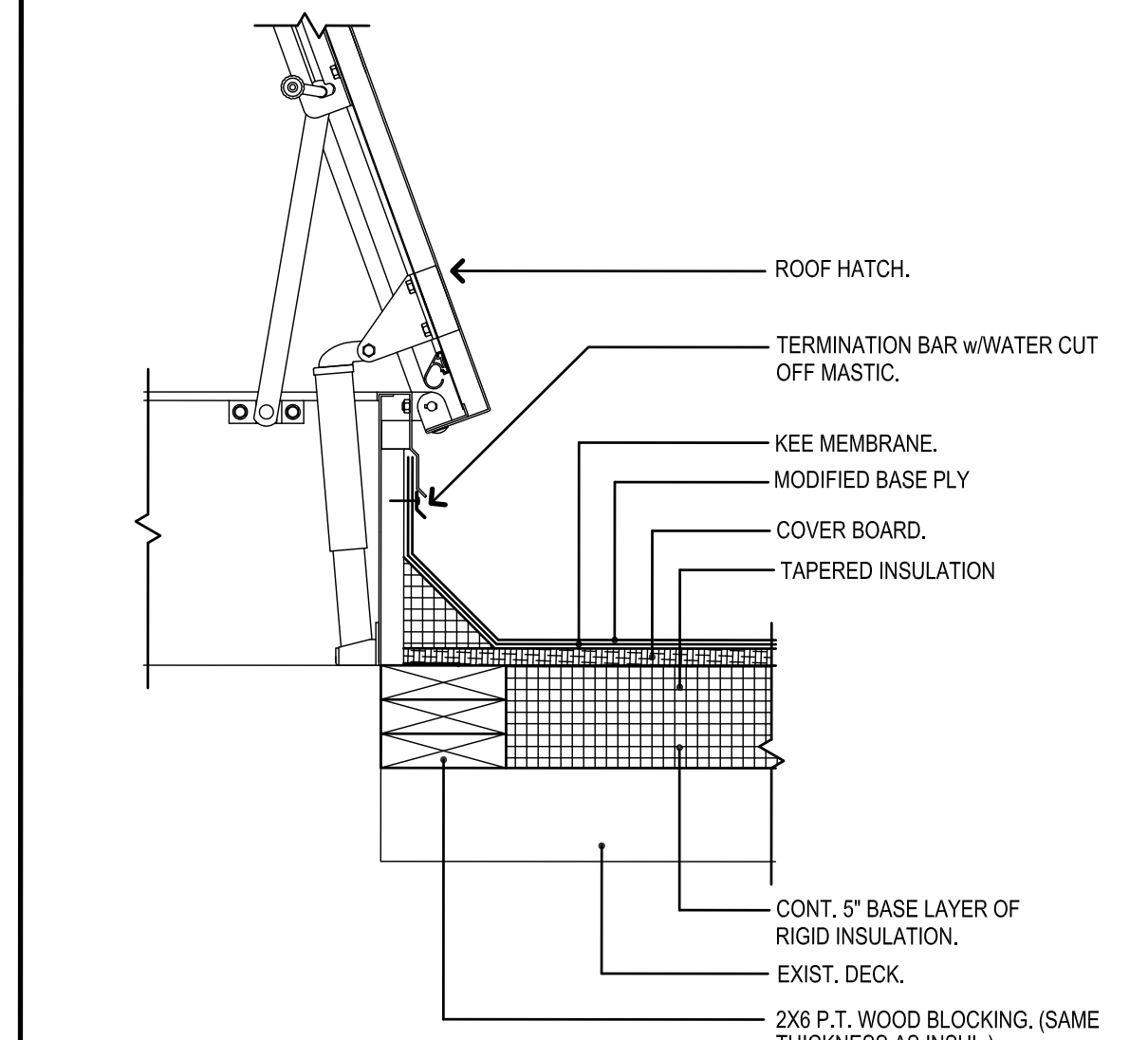
P ROOF EDGE
1-1/2"=1'-0"



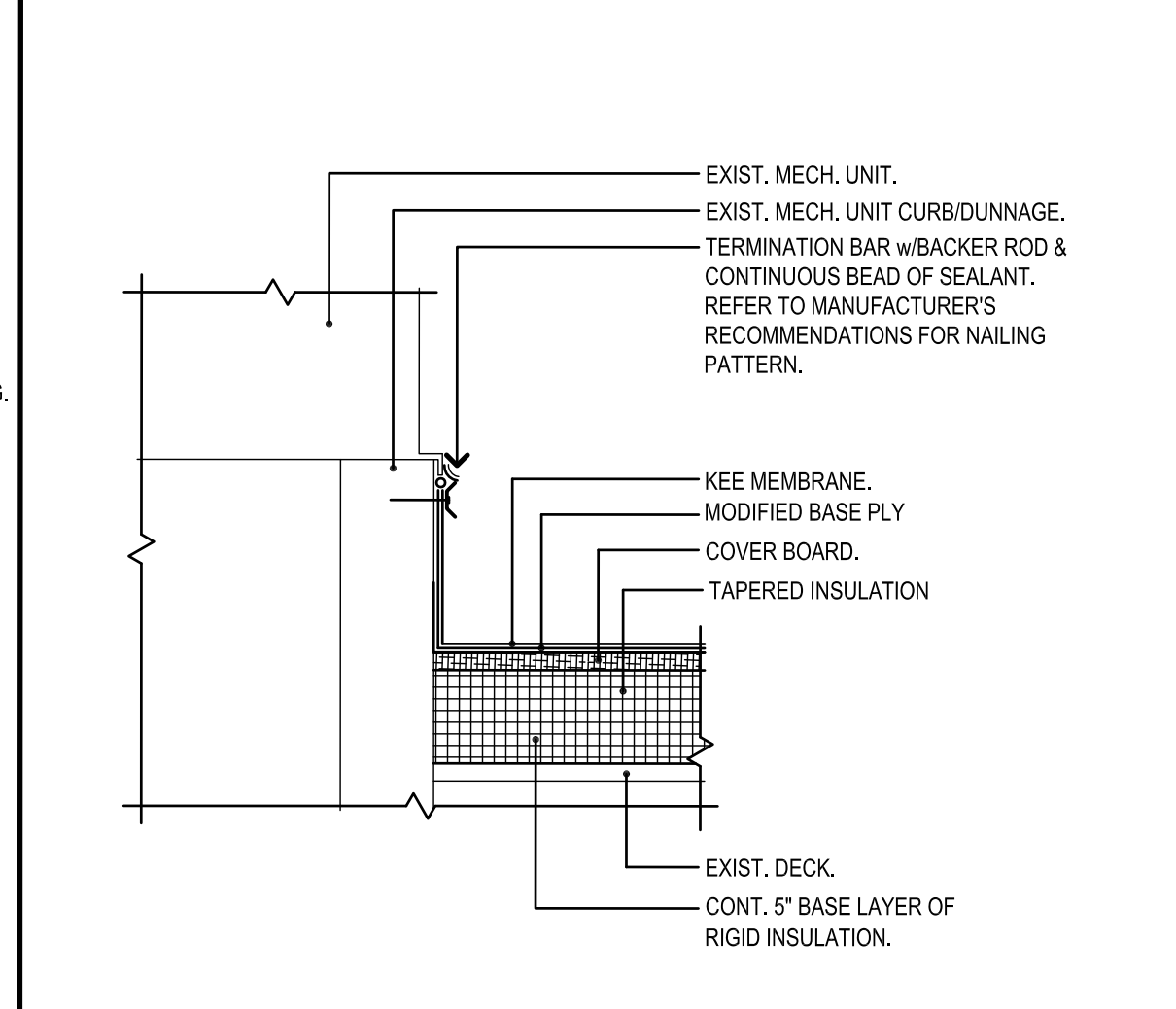
H PITCH POCKET
1-1/2"=1'-0"



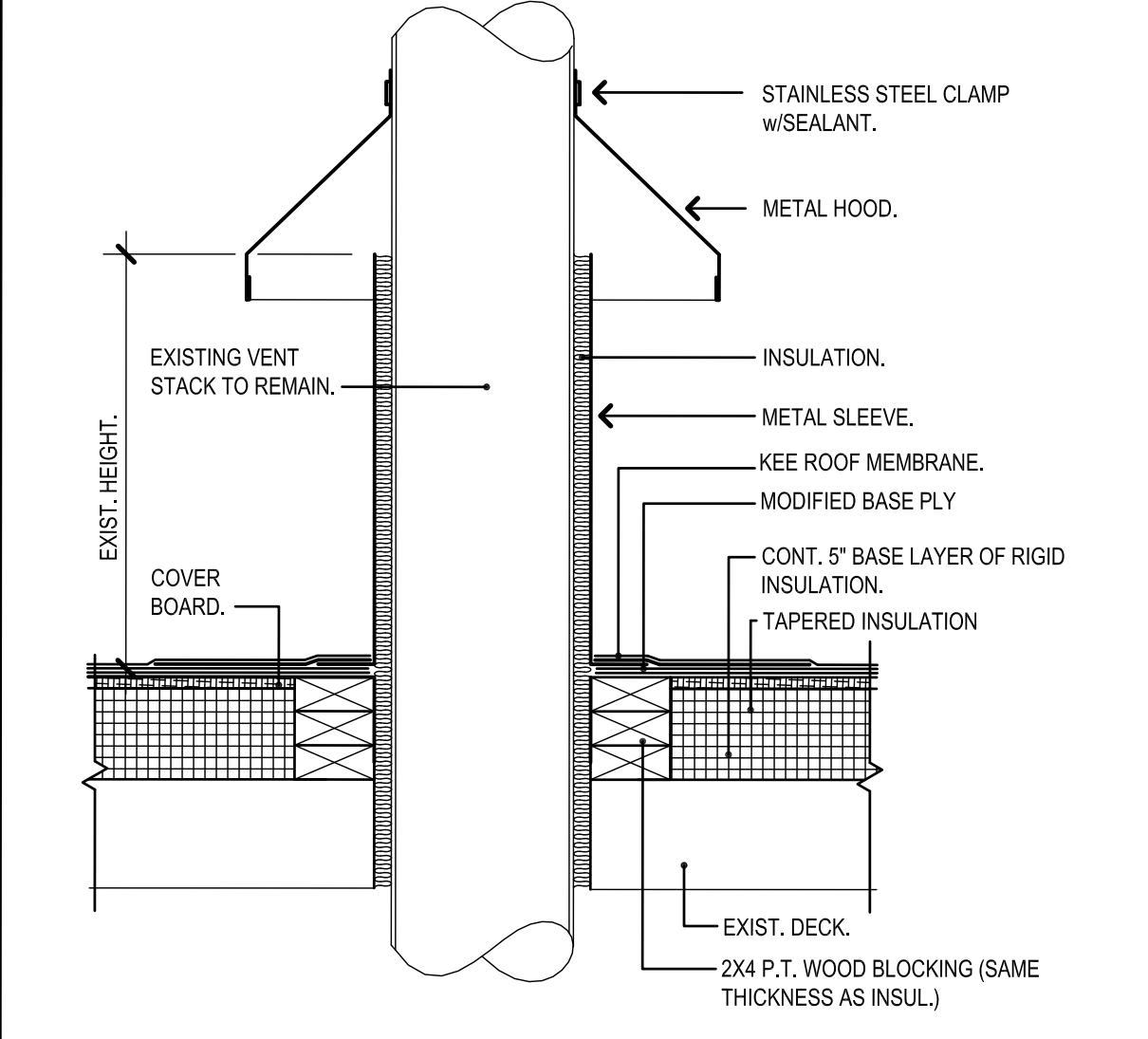
G ROOF HATCH SAFETY RAIL
1-1/2"=1'-0"



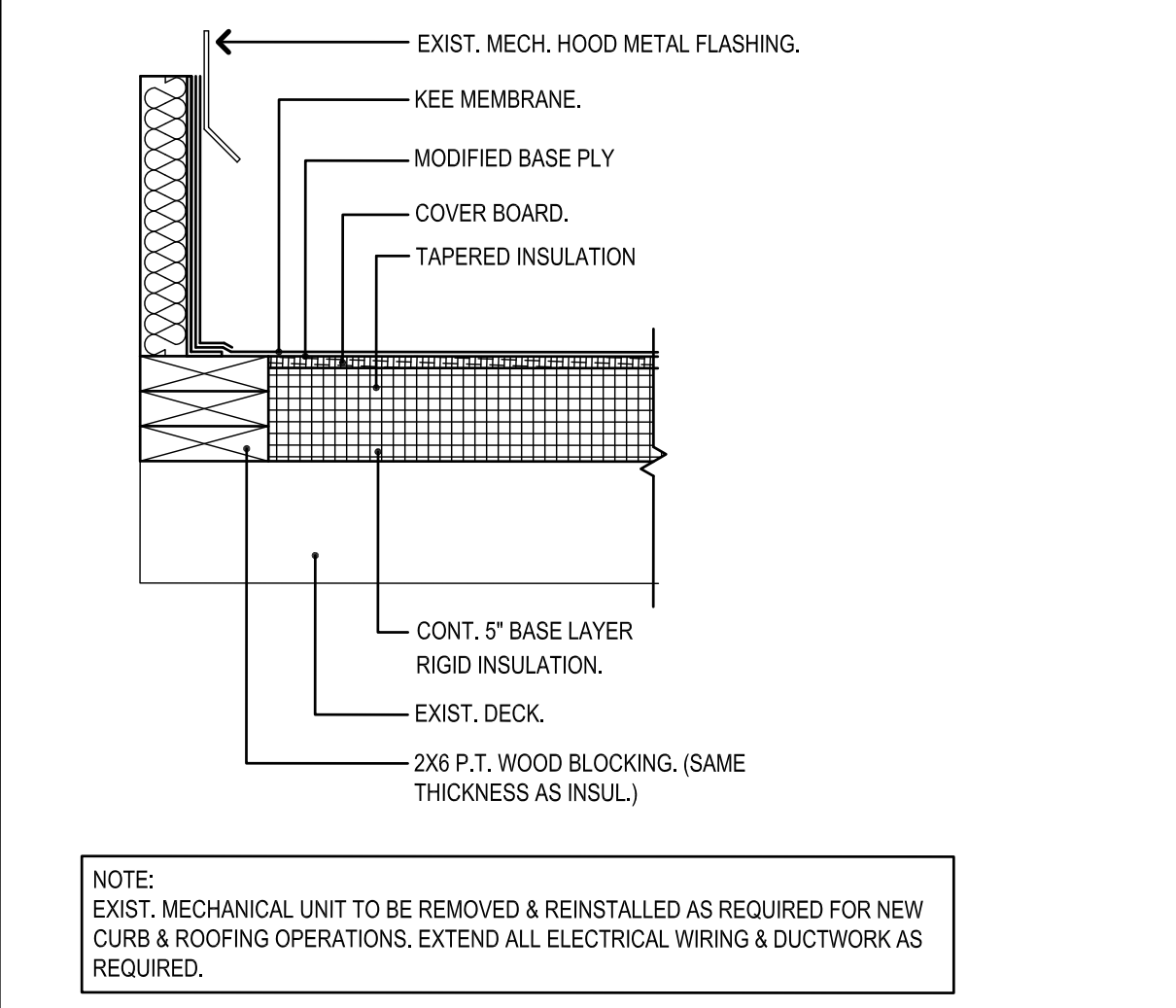
F ROOF HATCH
1-1/2"=1'-0"



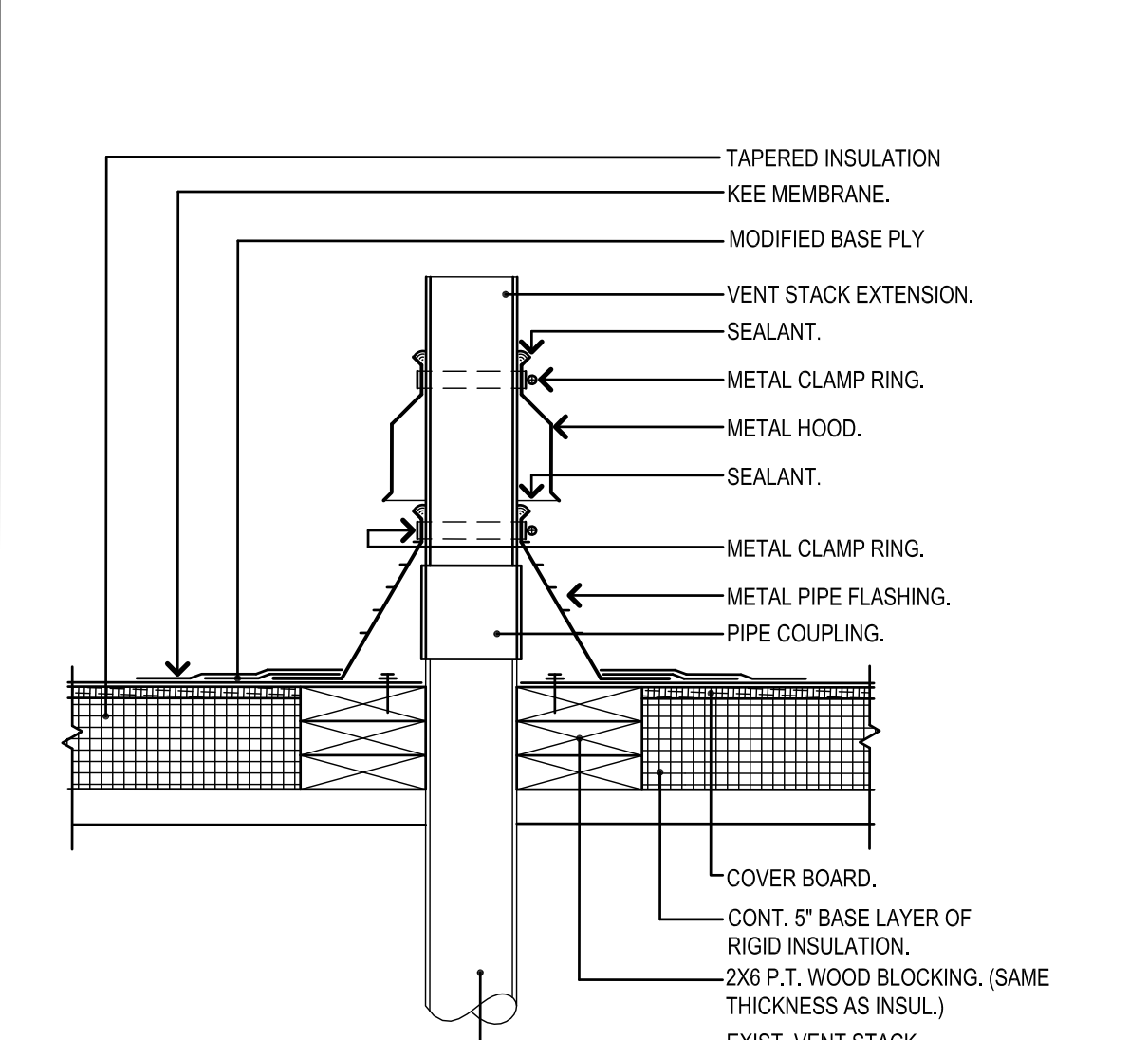
E ROOF TOP MECHANICAL UNIT
1-1/2"=1'-0"



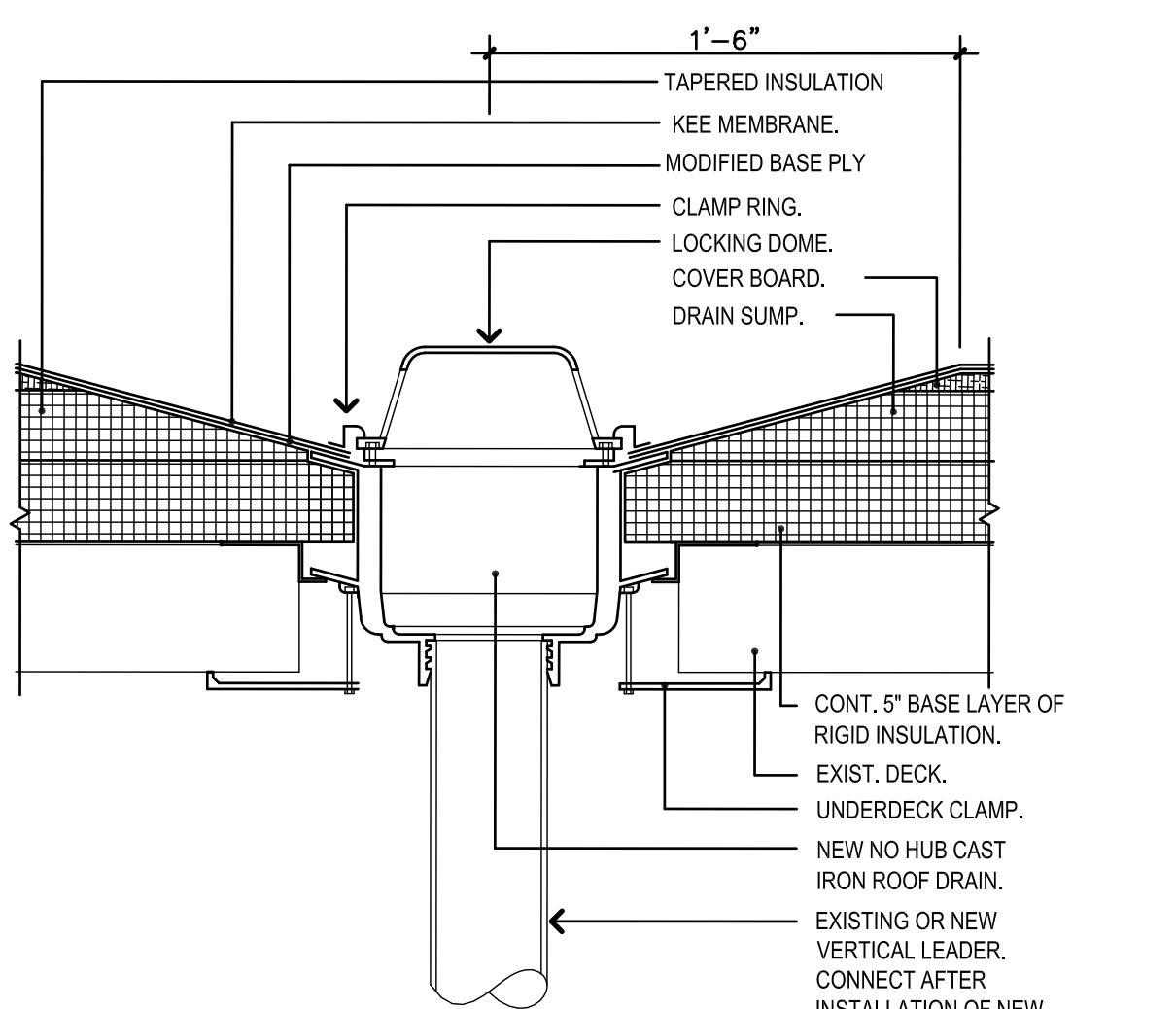
D HOT FLUE
1-1/2"=1'-0"



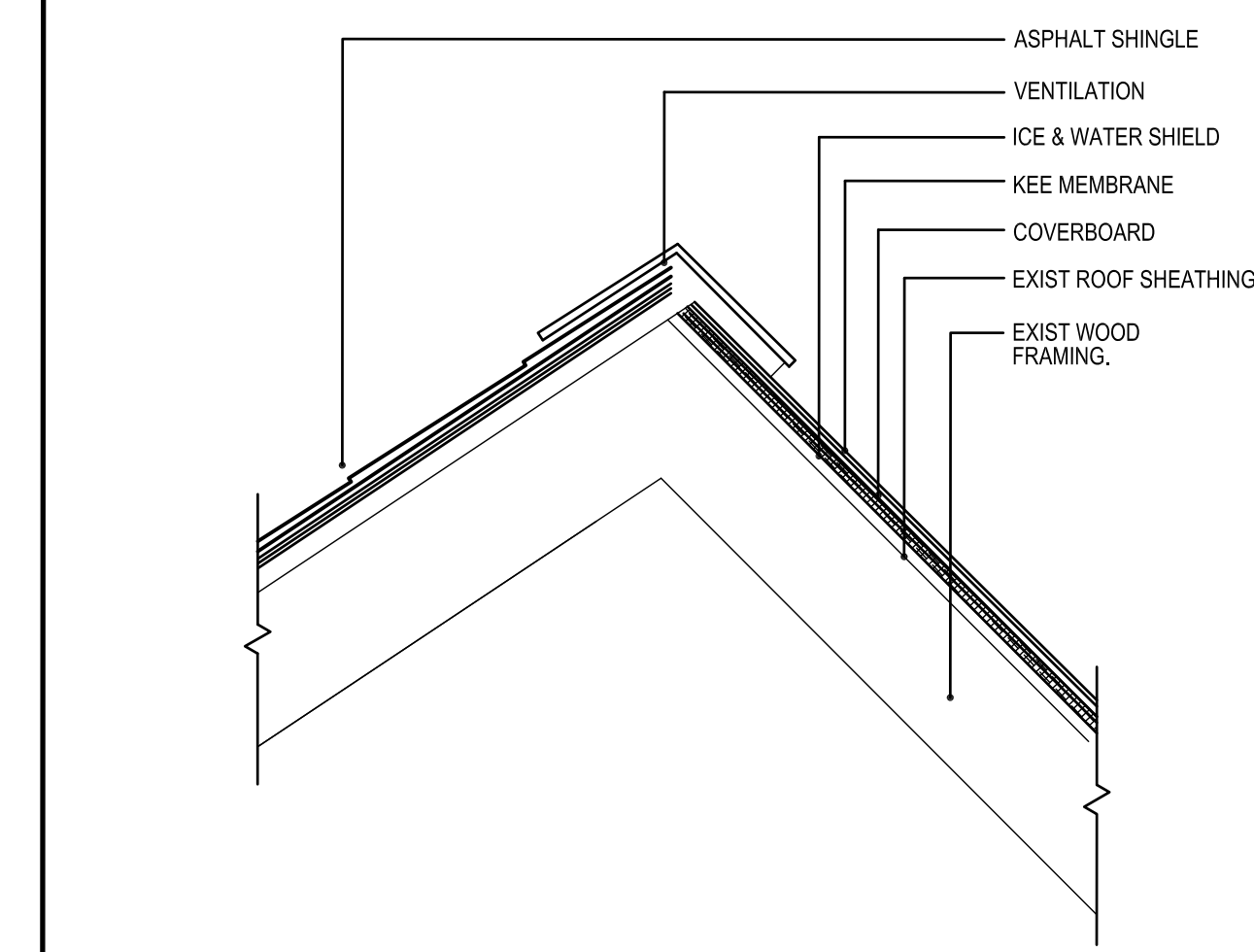
C ROOF FAN UNIT
1-1/2"=1'-0"



B VENT STACK
1-1/2"=1'-0"



A ROOF DRAIN
1-1/2"=1'-0"



M RIDGE
1-1/2"=1'-0"

Project Title: **ROOF REPLACEMENT AT: LEDYARD BOARD OF EDUCATION**
4 BLONDERS BOULEVARD
LEDYARD, CONNECTICUT 06339



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#1	ADDENDUM #2	04-19-2024	K.LINSLEY

Project Title: **ROOF DETAILS**
STATE PROJECT 072-0098 BE/RR

Date: 02/02/2024
Scale: 1-1/2"=1'-0"
Drawn By: MAG
Project Number: 22.331

A2 ALT